

Engineering Plans

For

Nassau County Public Training Center Phase I

for

Nassau County Sherriff's Office

Nassau County, Florida

Nassau County Public Training Center Phase I

for

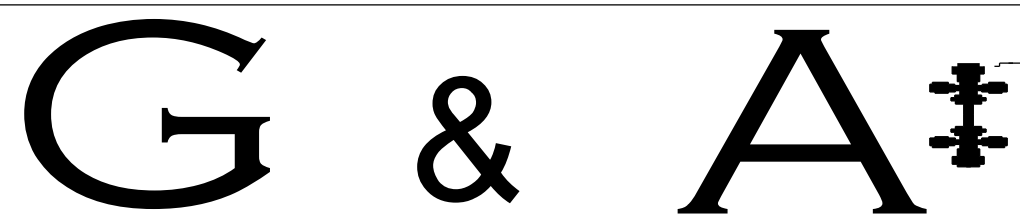
Nassau County Sherriff's Office

Released for construction _____ by _____

Gillette & Associates, Inc.

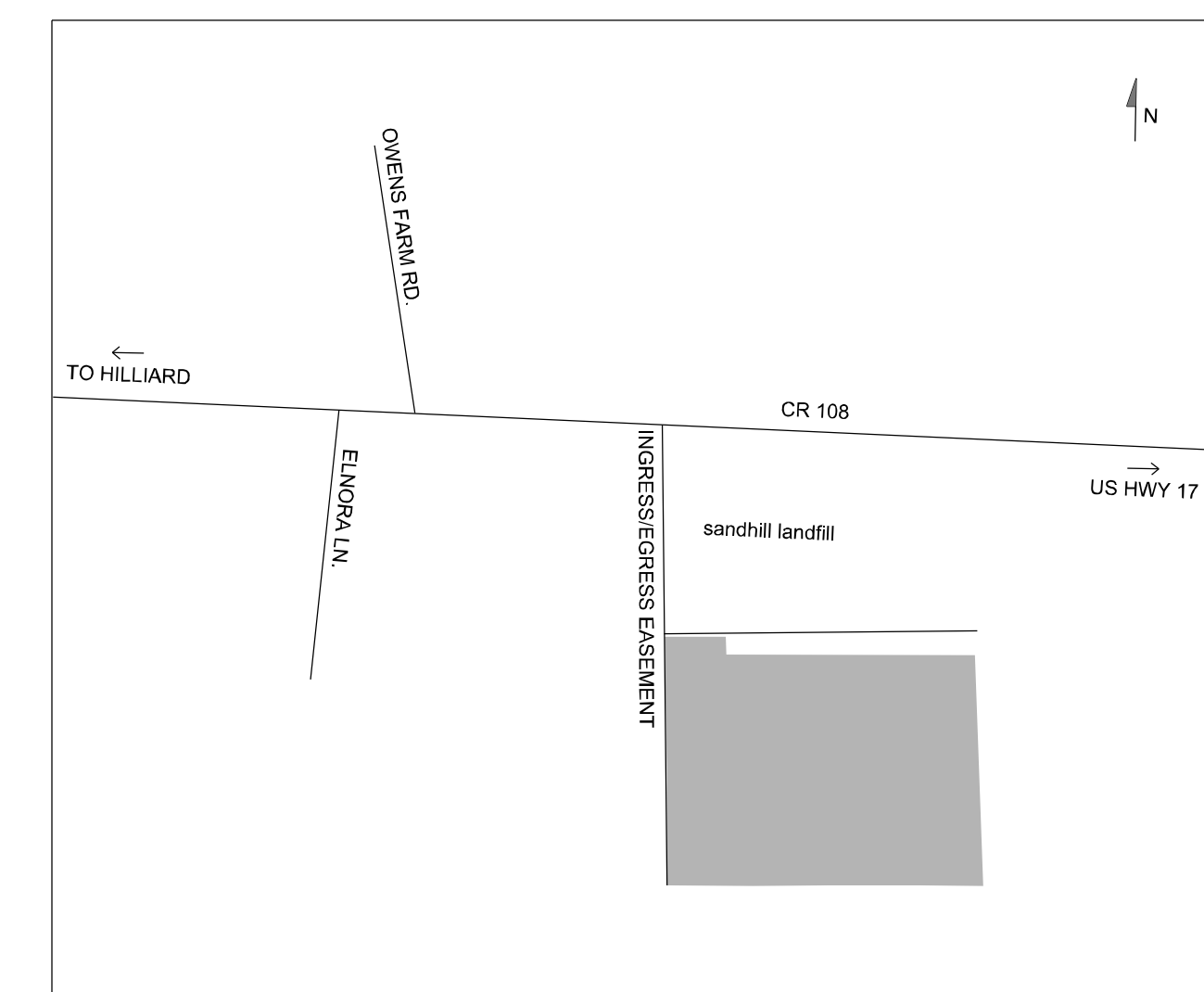
Civil & Environmental Engineering
Mechanical & Structural Engineering
Permitting & Construction Management

20 South 4th Street Amelia Island, Florida 32034
Phone: (904) 261-8819



Issue Date:
October 23, 2019
Revision Date:
August 31, 2020

SITE LOCATION MAP



\$\$\$*****\$\$\$\$\$\$\$\$

NC Project
No.: SP19-019
G&A Project
No.: 19-10.13

GENERAL NOTES

INDEX

SITE / GEOMETRY

SHEET #

DESCRIPTION

1. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH O.S.H.A. REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTOR'S PRICE FOR PERFORMING THE WORK.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS. EITHER SURFACE OR SUBSURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THIS PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE COMPLAINTS THAT MAY OCCUR DUE TO CONSTRUCTION OF THE PROJECT. ALL COSTS ASSOCIATED WITH PRELIMINARY INVESTIGATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER.

4. ELEVATIONS ARE BASED ON NATIONA GEODETIC VERTICAL DATUM OF 1988.

5. TOPOGRAPHIC AND BOUNDARY INFORMATION WAS PROVIDED BY: STEPHEN W. HOFFAMAN, PSM (FL REG. SURVEYOR #5774, 904-225-0597)

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING, RIGHT-OF-WAY PERMITS NOT PROVIDED AND INSURANCE REQUIRED FOR THE PROJECT.

7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH CITY, COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR.

8. THE CONTRACTOR SHALL ADVISE THE OWNER'S AUTHORIZED REPRESENTATIVE OF PLANNED WORK SCHEDULE. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, AND THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.

9. AS-BUILT DRAWINGS - AS-BUILTS ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION, AND SUBMITTAL OF AS-BUILT DRAWINGS.

10. AS-BUILT RECORD DATA AND INFORMATION SHALL BE MAINTAINED BY THE CONTRACTOR. RECORD DRAWINGS SHALL BE SUPPLIED TO THE ENGINEER.

11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.

12. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR ON A DAILY BASIS.

13. ALL EXCESS SUITABLE AND UNSUITABLE MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER.

14. ALL EXISTING TREES LISTED TO REMAIN SHALL BE PRESERVED AND PROTECTED.

15. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES, AND IMPROVEMENTS ON THE DRAWINGS ARE BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO ACTUAL FIELD LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THE DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITY IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR REPAIRS OR PAYMENTS FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS, AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH THEY SHALL CONNECT.

16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER ON ALL MATERIALS, FOR REVIEW AND APPROVAL, PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STRUCTURE.

17A. UNSUITABLE MATERIALS UNDER WATER, SEWER, OR STORM PIPE AND/OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL COMPACTED TO 98% OF ITS MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D1557).

17B. ALL FINISH FLOORS SHOWN ON THE PLANS ARE MINIMUM ELEVATIONS

18. ALL WATER & SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES.

19. WHEN DEWATERING CAPACITY REQUIRES A PERMIT (CUP), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.

20. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY HAZARD. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WHERE PARALLEL WATER AND SEWER MAINS HAVE LESS THAN 10 FOOT HORIZONTAL SEPARATION, 20 FOOT LENGTHS OF C900 (DR18) WATER QUALITY PIPE SHALL BE USED WITH THE JOINTS STAGGERED AT 10 FOOT INTERVALS. THE PIPES SHALL BE PLACED IN SEPARATE TRENCHES WITH THE WATER MAIN AT LEAST 18 INCHES ABOVE THE SEWER.

21. WATER MAINS CROSSING SANITARY HAZARDS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER MAIN. WHERE WATER AND SEWER MAINS CROSS WITH BETWEEN 18 INCHES AND 6 INCHES OF VERTICAL CLEARANCE, A 20 FOOT SECTION OF C900 (DR18) WATER QUALITY PIPE SHALL BE CENTERED ON THE POINT OF THE CROSSING. THE CONTRACTOR SHALL FIELD VERIFY THE VERTICAL SEPARATION. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER PIPES IS TO BE 6 INCHES OUTSIDE DIAMETER TO OUTSIDE DIAMETER.

22. NO WATER MAIN PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE.

23. BLANK

24. TRACER WIRE SHALL BE PROVIDED ON ALL WATER MAINS AND FORCE MAINS. TRACER WIRE SHALL BE A MINIMUM OF 10 GAUGE SOLID COPPER WIRE, COATED, AND SUITABLE FOR BURIAL. WIRE SHALL BE ATTACHED DIRECTLY TO TOP OF PIPE AND BROUGHT INTO EACH VALVE BOX AND COILED TO ALLOW FOR EASY ACCESS AND EXTENSION ABOVE FINISHED GRADE FOR ATTACHMENT OF LOCATING EQUIPMENT.

25. ALL PIPE LENGTHS ARE APPROXIMATE DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH TYPICAL SECTIONS AND DETAILS AS SHOWN ON THE MISCELLANEOUS DETAILS SHEET AND IN ACCORDANCE WITH THE SPECIFICATIONS.

26. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.

27. GRADES SHOWN ON PLANS ARE EDGE OF PAVEMENT FINISHED GRADES UNLESS OTHERWISE NOTED.

28. SHOULD THE SURFACE OR SUBSURFACE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

29. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE SPECIFICALLY STATED. CONSTRUCTION AREAS WITHIN COUNTY RIGHT-OF-WAY AND EASEMENTS SHALL BE TREATED WITH SOD TO PROTECT THE RIGHT-OF-WAY AGAINST EROSION. ALL ROADWAY WORK SHALL REQUIRE A MINIMUM OF SIXTEEN (16) INCHES OF SOD ADJACENT TO THE EDGE OF PAVEMENT.

30. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SEDIMENT-LADEN RUNOFF RESULTING FROM STORM EVENTS DURING THE CONSTRUCTION PHASE. EROSION CONTROL FACILITIES SHOULD BE INSTALLED EARLY DURING THE CONSTRUCTION PERIOD SO AS TO PREVENT THE TRANSPORT OF SEDIMENT INTO SURFACE WATERS, RE-VEGETATION AND STABILIZATION OF DISTURBED AREAS SHOULD BE ACCOMPLISHED IMMEDIATELY TO REDUCE THE POTENTIAL FOR FURTHER SOIL EROSION.

31. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND COUNTY/CITY BEFORE COMMENCING WORK.

32. MINIMUM COVER OVER PIPES SHALL BE 36" UNLESS OTHERWISE INDICATED.

33. ALL UNDERGROUND UTILITY COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.

34. IN ADDITION TO THE SPECIFICATIONS AND DETAILS PROVIDED FOR THIS CONTRACT, THE NASSAU COUNTY STANDARD DETAILS AND SPECIFICATIONS (LATEST REVISION) SHALL ALSO BE USED FOR ANY ITEMS NOT COVERED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A SET OF STANDARD DETAILS AND SPECIFICATIONS FROM NASSAU COUNTY.

35. BACKFILL MATERIAL FOR PROPOSED ROADWAYS SHALL BE CLASS 1 FILL DIRT AND SHALL BE COMPACTED TO STANDARDS SPECIFIED IN PROVIDED STABILIZED DIRT ROAD DETAIL, SEE SHEET DT-1.

36. ALL ENBANKMENT / BERM FILL SHALL BE PLACED IN EIGHT (8) INCH LIFTS AND COMPACTED TO NINETY-FIVE PERCENT (95%) OF THE MAXIMUM DRY DENSITY, WITHIN PLUS OR MINUS TWO PERCENT (2%) OF THE OPTIMUM MOISTURE CONTENT, USING THE STANDARD PROCTOR DENSITY TEST (ASTM D-698). QUALITY CONTROL TESTING SHALL BE PERFORMED WITH TWO COMPACTION TESTS PER LIFT OF SOIL IN IMPACT BERMS AND LATERAL BERMS.

37. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER.

38. STATIONING REFERS TO THE CENTERLINE OF THE ROADWAY EXCEPT AS NOTED ON PLANS. WHERE PAVEMENT SPLITS, THE STATIONING FOLLOWS THE INSIDE EDGE OF PAVEMENT UNTIL ROADWAY TRANSITIONS BACK TO THE TYPICAL ROADWAY SECTION.

39. ALL CONSTRUCTION, MATERIAL AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH NASSAU COUNTY STANDARDS.

40. SURFACE SOILS FOR BERM AREAS SHOULD BE COMPACTED USING A 5 TO 10 TON VIBRATORY DRIVEN ROLLER. UTILIZE AT LEAST EIGHT (8) OVERLAPPING PASSES IN EACH DIRECTION. REFERENCE GEOTECHNICAL REPORT BY AGES OF JACKSONVILLE, INC (J910I)

41. GEOGRID MATERIAL (AS CALLED OUT ON DRAWINGS) TO BE TENSAR BIAXIAL GEOGRID BY 1220 (SIERRA SYSTEM APPLICATION). GRID LAYERS TO BE INSTALLED MAXIMUM OF EVERY 32' (EVERY 4TH LIFT).

ALL PERMITTING AGENCIES

1	COVER SHEET
2	INDEX SHEET
3	PREDEVELOPMENT PLAN
4	PHASE PLAN
5	OVERALL GEOMETRY PLAN
6	DETAILED GEOMETRY PLAN 1
7	DETAILED GEOMETRY PLAN 2
8	OVERALL DRAINAGE PLAN
9	DETAILED DRAINAGE PLAN 1
10	DETAILED DRAINAGE PLAN 2
11	DRAINAGE PROFILE PLANS
12	UTILITY PLAN
13	OVERALL LANDSCAPE PLAN
14	LANDSCAPE PLAN
15	MISCELLANEOUS DETAILS
16	SEPTIC SYSTEM DETAILS

UTILITY NOTES

1. WATER PROVIDED BY NEW POTABLE WATER WELL
2. SEWER PROVIDED BY NEW SEPTIC TANK AND DRAINFIELD SYSTEM.
3. POWER PROVIDED BY OKEEFENOKEE POWER AND LIGHT.

LEGEND

	EXISTING VALVE		PROPOSED SPOT ELEVATION
	EXISTING WATER LINE		DRAINAGE STRUCTURE
	EXISTING SANITARY SEWER		PIPE
	EXISTING FIRE HYDRANT		PROPOSED CONTOUR
	PROPOSED SANITARY SEWER		PROPOSED EDGE OF PAVEMENT
	PROPOSED WATER LINE		PROPOSED PROPERTY LINE
	PROPOSED FIRE HYDRANT		PROPOSED R.O.W. LINE
	EXISTING EDGE OF PAVEMENT		EXISTING CONTOUR
	EXISTING PROPERTY LINE		

S:\FileNames\5

K				Scale:	N/A
J				Project Mgr:	AG
I				Designed by:	AG
H				Drawn by:	LA
G				QAQC:	NG
F					
E	MP	08/31/20	Revised Rifle Range		
D	LA	06/30/20	Revised per NCSO Coordination		
C	LA	01/10/20	Revised per Nassau County Comments		
B	LA	11/26/19	Revised per Nassau County Comments		
A	LA	10/23/19	SP19-019 Nassau County SEP		
No.	By	Date	Revision		

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"

G & A
 GILLETTE & ASSOCIATES, INC.
 20 SOUTH 4TH STREET
 FERNANDINA BEACH, FL 32034
 PHONE: (904) 261-8819

NASSAU COUNTY SHERIFF

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX PHASE I

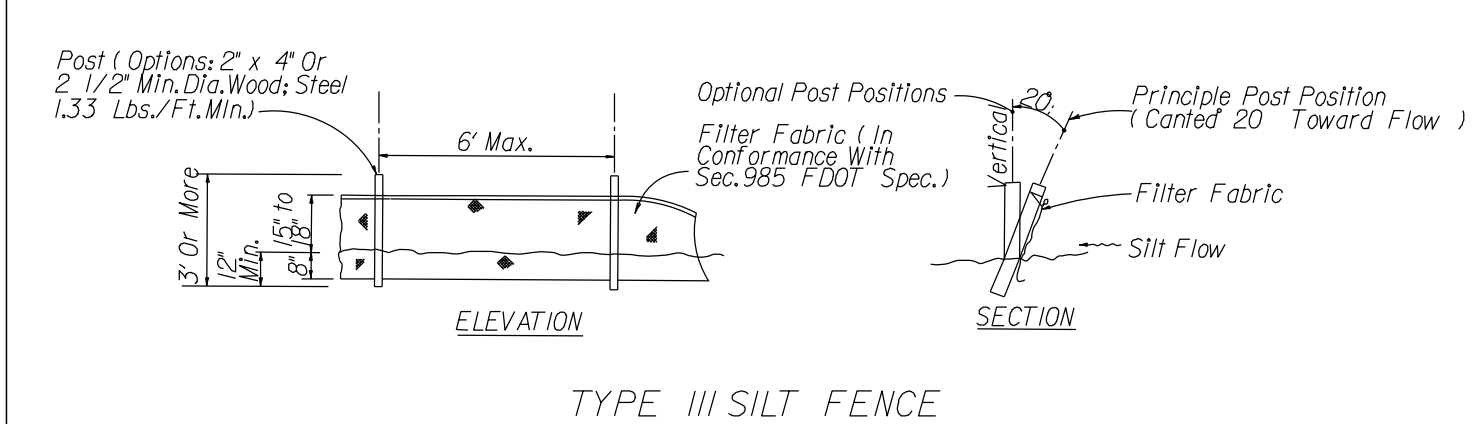
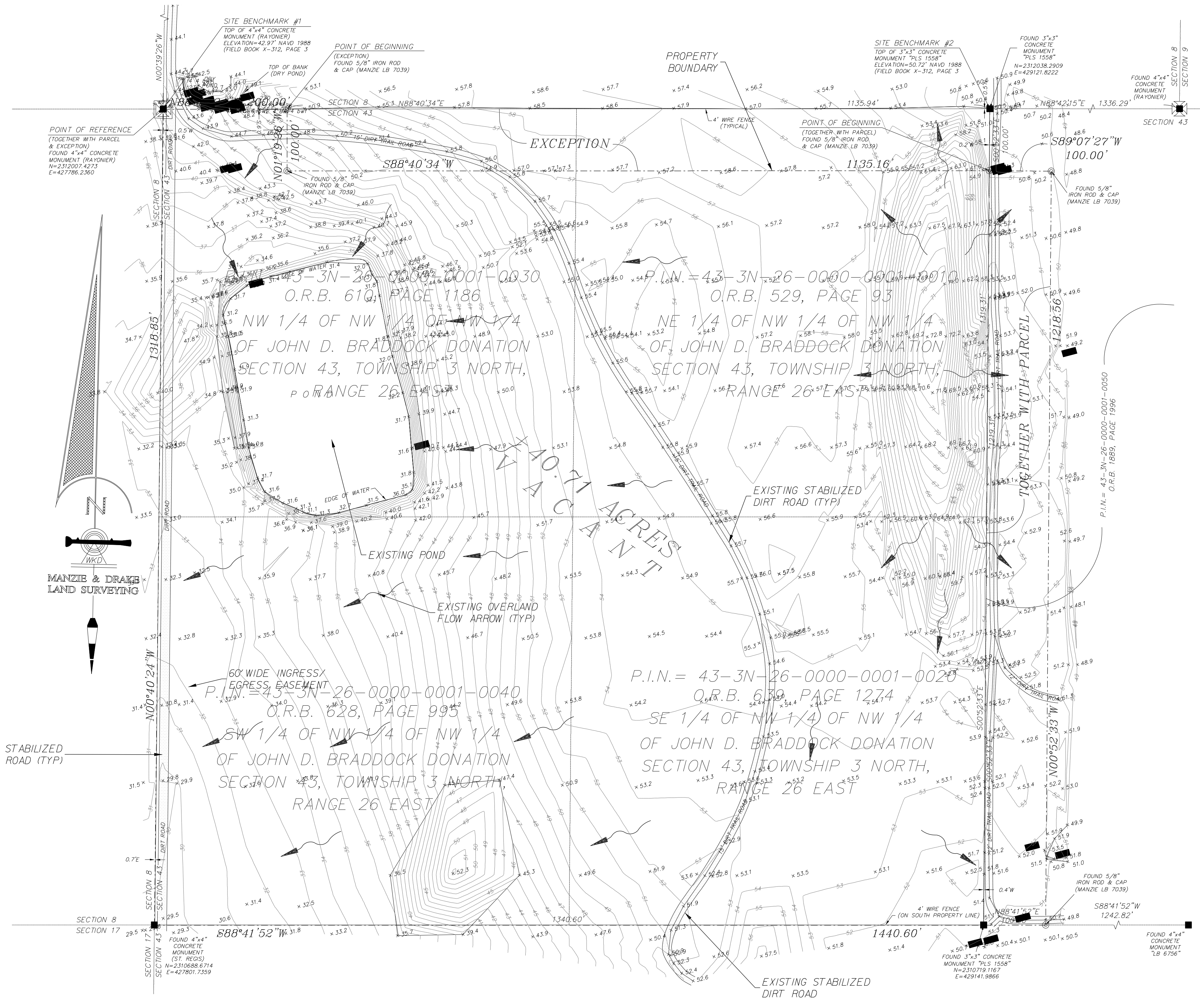
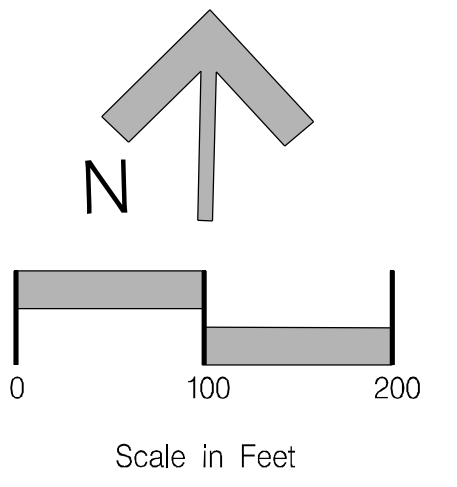
INDEX SHEET

Sheet No.	11-1
	2 of 16
Issue Date	23 OCTOBER 2019
Project No.	19J013

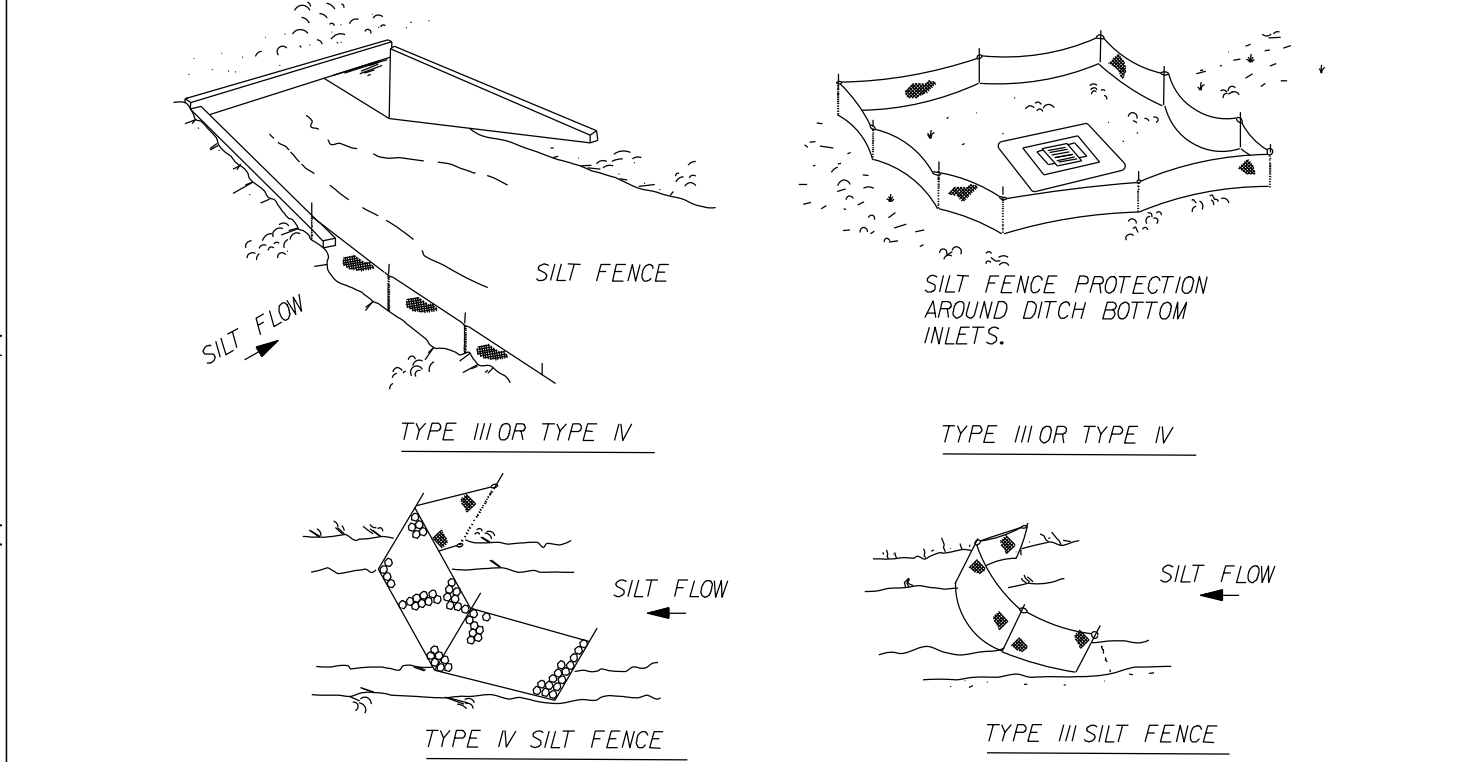
Registered Professional

GENERAL NOTES

GENERAL NOTES:
 PID#s: 43-3N-26-0000-0001-0010, 0020, 0030, 0040
 96135 NASSAU PL STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
 ZONING: GOVERNMENT
 ACREAGE: 40.71 ACRES
 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: PUBLIC TRAINING CENTER
 MAX BUILDING HEIGHT: 60 FT



TYPE III SILT FENCE



SILT FENCE APPLICATIONS

K			
J			
I			
H			
G			
F			
E	MP	08/31/20	Revised Rifle Range
D	LA	06/30/20	Revised per NCSO Coordination
C	LA	01/10/20	Revised per Nassau County Comments
B	LA	11/26/19	Revised per Nassau County Comments
A	LA	10/23/19	SP19-019 Nassau County SEP
No.	By	Date	Revision

Scale: 1" = 100'
 Project Mgr: AG
 Designed by: AG
 Drawn by: LA
 QA/QC: NG

Gillette & Associates, Inc.
 20 South 4th Street
 Fernandina Beach, FL 32034
 Certificate of Authorization No. 9332
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NASSAU COUNTY SHERIFF
 NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX
 PHASE I

PRE-DEVELOPMENT PLAN
 Registered Professional






Sheet No. PRE-1
 3 of 16
 Issue Date 23 OCTOBER 2019
 Project No. 1910J3

GENERAL NOTES

GENERAL NOTES:
 PID*s: 43-3N-26-0000-0001-0010,0020,0030,0040)
 96135 NASSAU PL STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
 ZONING: GOVERNMENT
 ACREAGE: 40.71 ACRES
 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: GUN RANGE
 MAX BUILDING HEIGHT: 60 FT
 PROPOSED BUILDING HEIGHT: +/- 25 FT
 BUILDING AREA:
 GOVERNMENT: 7,203 SF
 FLOOR AREA RATIO: 0.17 Ac./ 40.71 Ac. = 0.3%
 DEVELOPMENT REQUIREMENTS:
 MAXIMUM IMPERVIOUS AREA: 65%
 SHOWN IMPERVIOUS AREA: 0.27 Ac./ 40.71 Ac. = 0.6%
 SETBACK REQUIREMENTS (GOVERNMENT):
 FRONT- 25' WIDE
 SIDES- 30' WIDE
 REAR- 20' WIDE
 PHASE AREAS:
 PHASE I- 15.8 / 39.5 ACRES
 PHASE II- 5.4 / 39.5 ACRES
 PHASE III- 20.1 / 39.5 ACRES

VARIANCE SECTION IIIJ AND 9.5.3 OF ORDINANCE NO.99-17
 N.C.LDC APPROVED BY APPROVAL LETTER ISSUED AUGUST
 23, 2019 BY INTERM COUNTY ENGINEER.

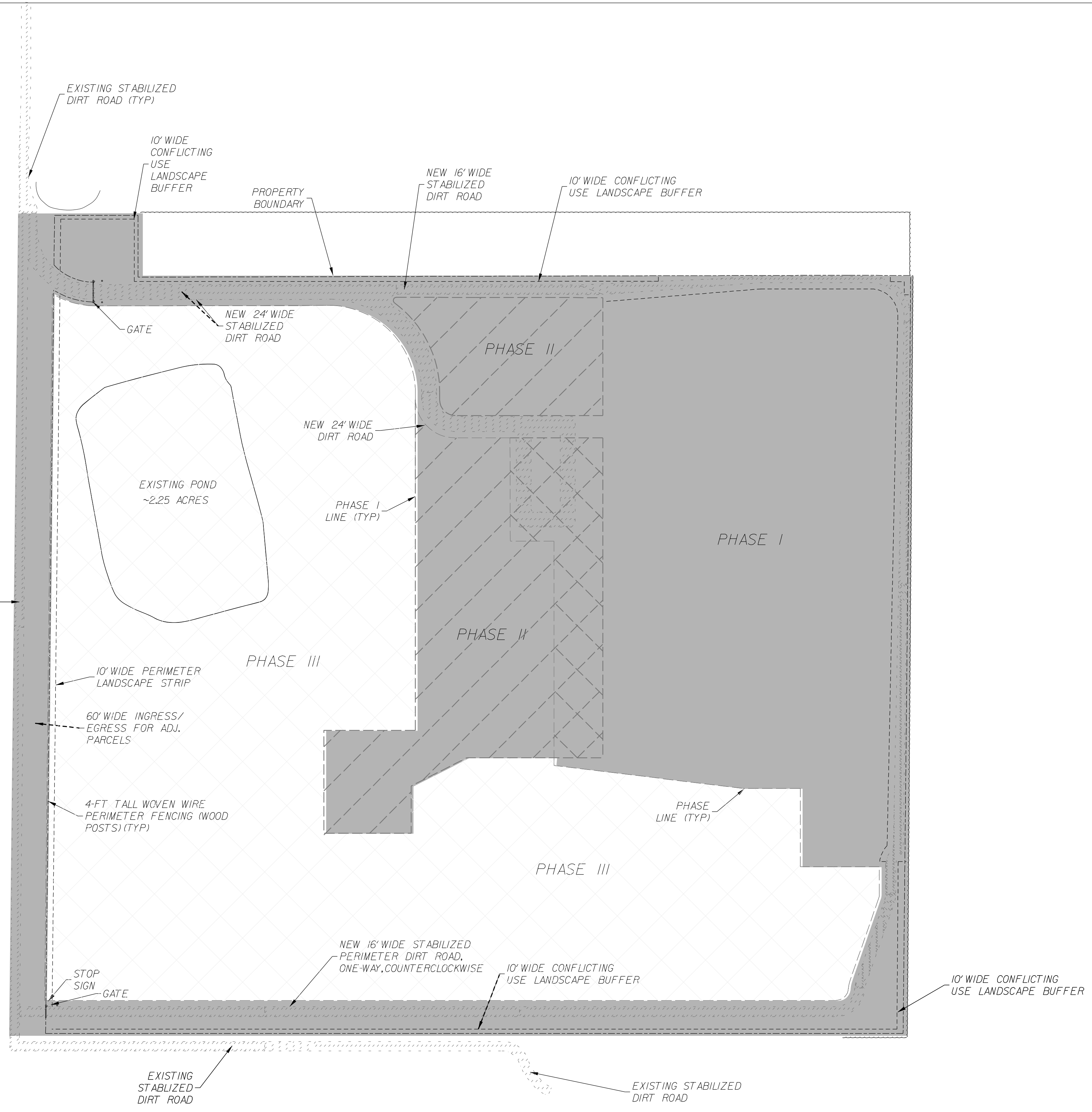
LEGEND

-  PHASE I
-  PHASE II
-  PHASE I & II
-  PHASE III
-  DIRT ROAD

EXISTING STABILIZED
DIRT ROAD (TYP)

PIN: 08-3N-26-0000-0003-0000
 USE: TIMBERLAND
 ZONING: OPEN RURAL
 FLUM: AGRICULTURE

PIN: 17-3N-26-0000-0001-0000
 USE: TIMBERLAND
 ZONING: OPEN RURAL
 FLUM: AGRICULTURE



No.	By	Date	Revision
0	MP	08/31/20	Revised Rifle Range
1	LA	06/30/20	Revised per NCSO Coordination
2	LA	01/10/20	Revised per Nassau County Comments
3	LA	11/26/19	Revised per Nassau County Comments
4	LA	10/23/19	SPI9-019 Nassau County SEP

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 Designed by: AG
 Drawn by: LA
 QAQC: NG

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NASSAU COUNTY SHERIFF

NASSAU COUNTY PUBLIC
 TRAINING CENTER COMPLEX
 PHASE I

OVERALL SITE
 PHASE PLAN

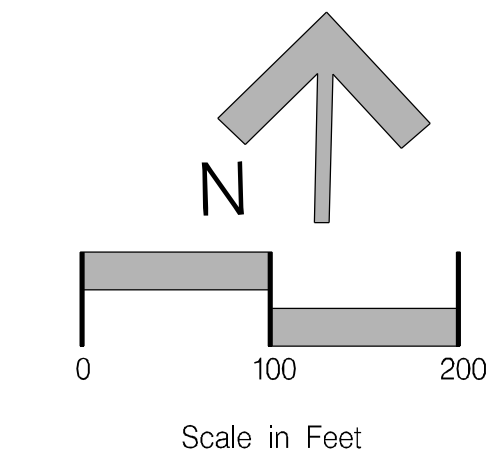
Registered Professional
 Sheet No. PH-1
 4 of 16
 Issue Date: 23 OCTOBER 2019
 Project No. 191013

GENERAL NOTES

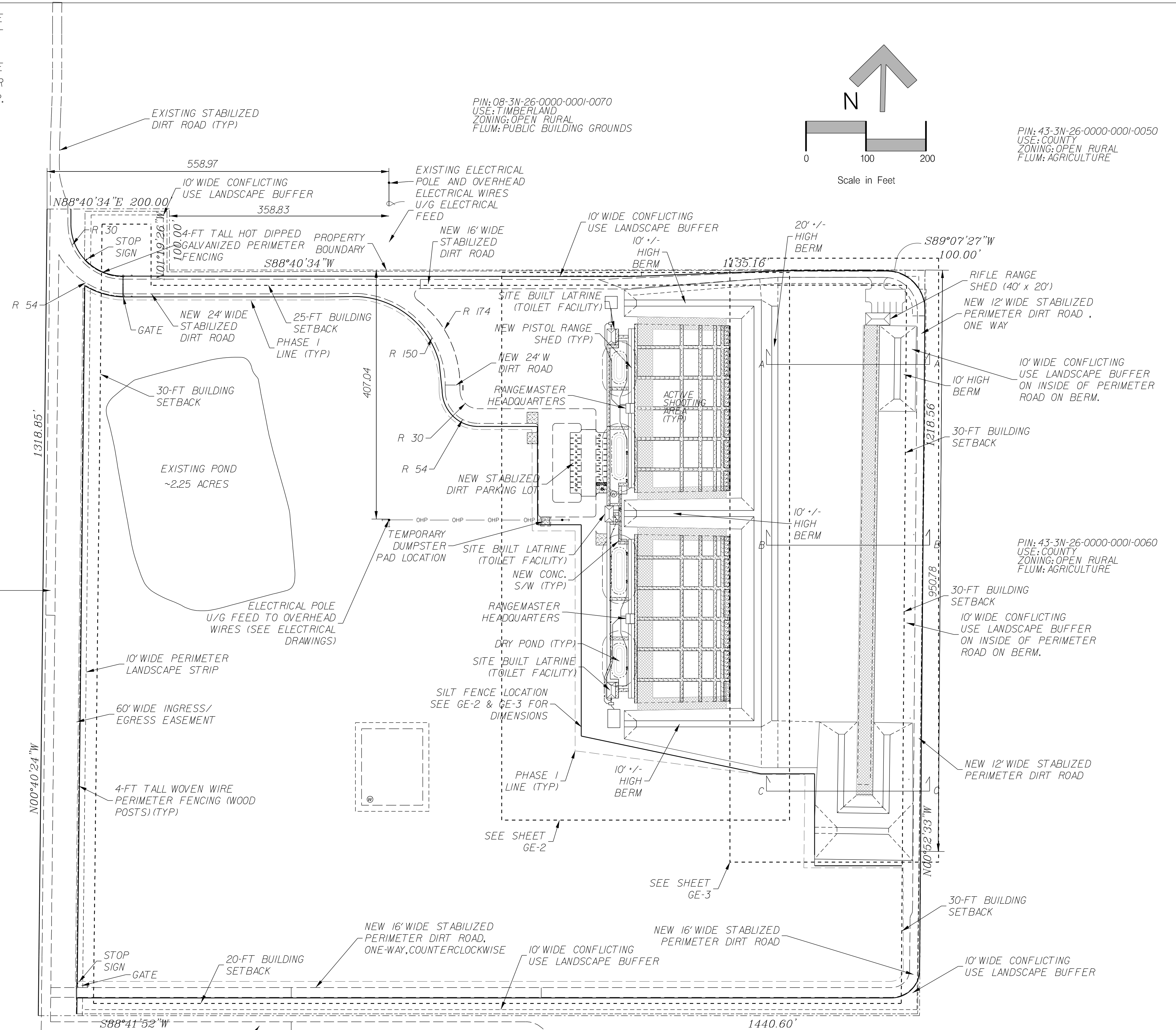
GENERAL NOTES:
 PID#s: 43-3N-26-0000-0001-0010,0020,0030,0040
 96135 NASSAU PL STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
 ZONING: GOVERNMENT
 ACREAGE: 40.71 ACRES
 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: GUN RANGE
 MAX BUILDING HEIGHT: 60 FT
 PROPOSED BUILDING HEIGHT: +/- 25 FT
 BUILDING AREA:
 GOVERNMENT: 7,203 SF
 FLOOR AREA RATIO: 0.17 Ac./ 40.71 Ac. = 0.3%
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 SETBACK REQUIREMENTS (GOVERNMENT):
 FRONT- 25' WIDE
 SIDES- 30' WIDE
 REAR- 20' WIDE
 PARKING REQUIREMENTS:
 GOVERNMENT OFFICE/COMMERCIAL- 1 SPACE / 300 SF
 1,538 SF X (1 SPACE / 300 SF) = 5 SPACES
 GOVERNMENT STORAGE- 1 SPACE / 2 EMPLOYEES
 16 EMPLOYEES X (1 SPACE / 2 EMPLOYEES) = 8 SPACES
 SHOWN: REGULAR- 21 SPACES, ADA- 1 SPACES
 PARKING AREA / RATIO = 0.1 Ac./ 40.71 Ac. = 0.2%

NOTE: ALL BERM SLOPES ALONG ACTIVE FIRING AREAS (1' RISE TO 17' RUN) DESIGNED TO MINIMIZE CHANCE OF RICOCHET

NOTE: VARIANCE SECTION III.J AND 9.5.3 OF ORDINANCE NO. 99-17 N.C.LDC APPROVED BY APPROVAL LETTER ISSUED AUGUST 23, 2019 BY INTERM COUNTY ENGINEER.



PIN: 43-3N-26-0000-0001-0050
 USE: COUNTY
 ZONING: OPEN RURAL
 FLUM: AGRICULTURE

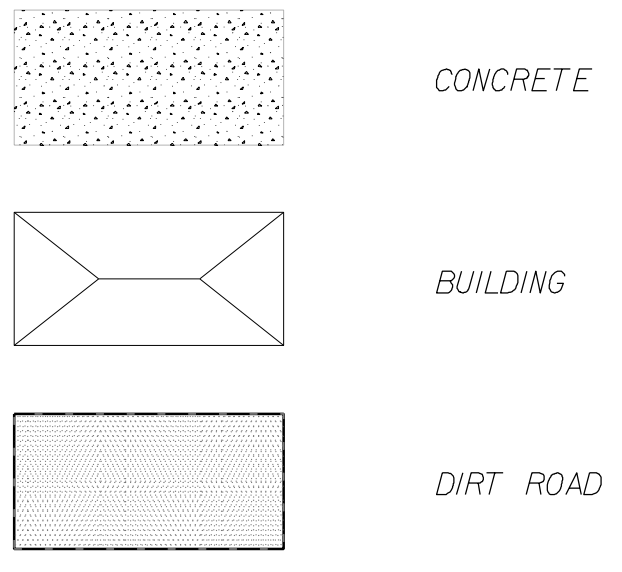


PIN: 08-3N-26-0000-0003-0000
 USE: TIMBERLAND
 ZONING: OPEN RURAL
 FLUM: AGRICULTURE

PIN: 17-3N-26-0000-0001-0000
 USE: TIMBERLAND
 ZONING: OPEN RURAL
 FLUM: AGRICULTURE

PIN: 43-3N-26-0000-0001-0000
 USE: TIMBERLAND
 ZONING: OPEN RURAL
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LEGEND



\$B\$FileNames\$

K		
J		
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NASSAU COUNTY SHERIFF

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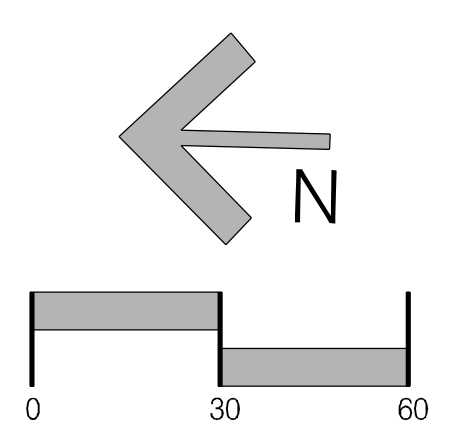
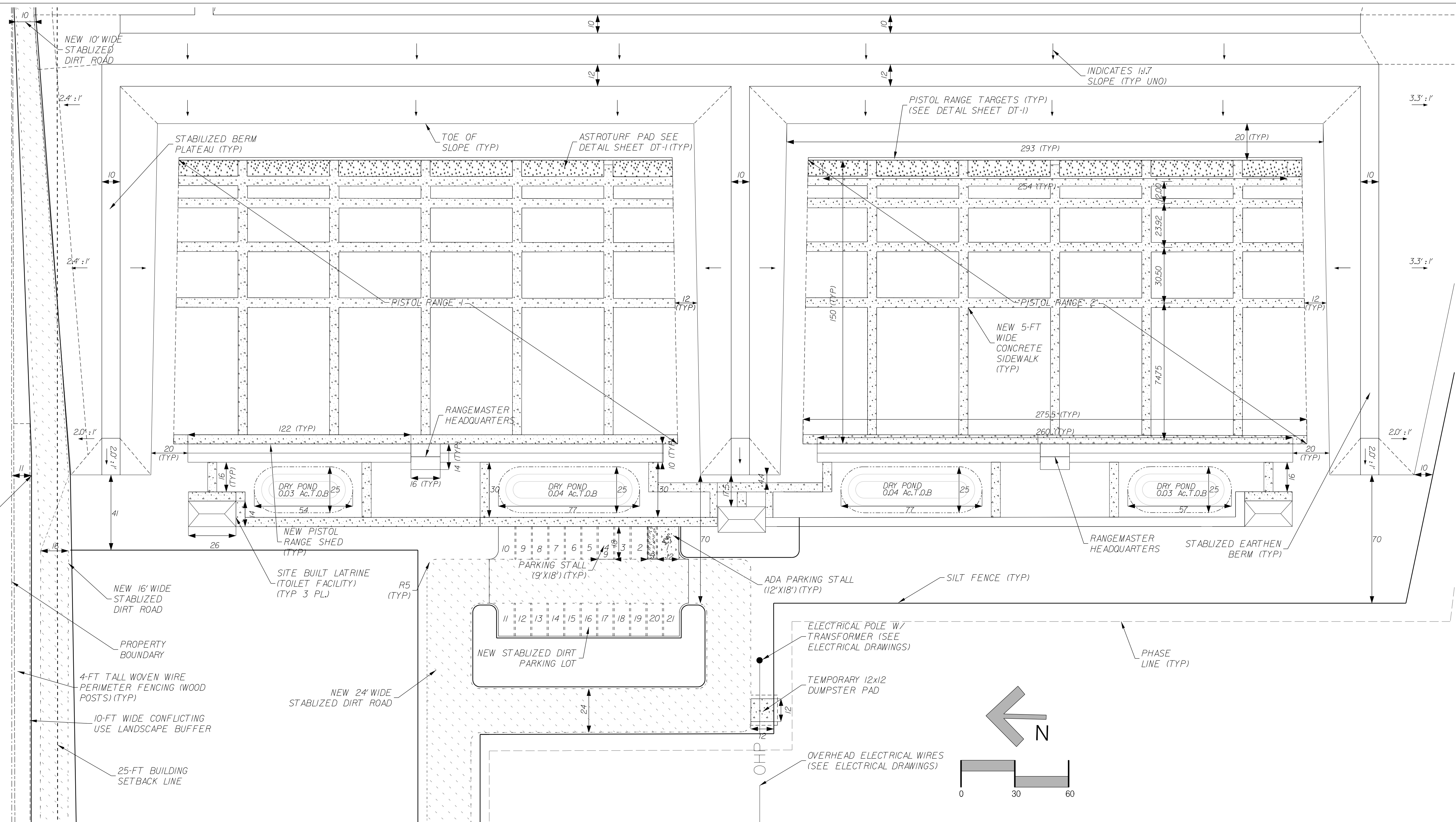
Registered Professional

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 SHOWN: REGULAR- 20 SPACES, ADA- 1 SPACES
 PARKING AREA / RATIO = 0.1 Ac. / 40.71 Ac. = 0.2%

NOTE:
 - BUILDING DIMENSIONS SHOWN REPRESENT FOOTPRINT DIMENSIONS
 - ALL RANGE SLOPES 1.7':1.0' UNLESS OTHERWISE NOTED



LEGEND

	CONCRETE
	BUILDING
	DIRT ROAD

No.	By	Date	Revision
K			
J			
I			
H			
G			
F			
E	MP	08/31/20	Revised Rifle Range
D	LA	06/30/20	Revised per NCSO Coordination
C	LA	01/10/20	Revised per Nassau County Comments
B	LA	11/26/19	Revised per Nassau County Comments
A	LA	10/23/19	SP19-019 Nassau County SEP
No.	By	Date	Revision

Scale: 1" = 30'
 Project Mgr: AG
 Designed by: AG
 Drawn by: LA
 QAQC: NG

Gillette & Associates, Inc.
 20 South 4th Street
 Fernandina Beach, FL 32034
 Certificate of Authorization No. 9332
 DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"

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 GILLETTE & ASSOCIATES, INC.
 20 SOUTH 4TH STREET
 FERNANDINA BEACH, FL 32034
 PHONE: (904) 261-8819

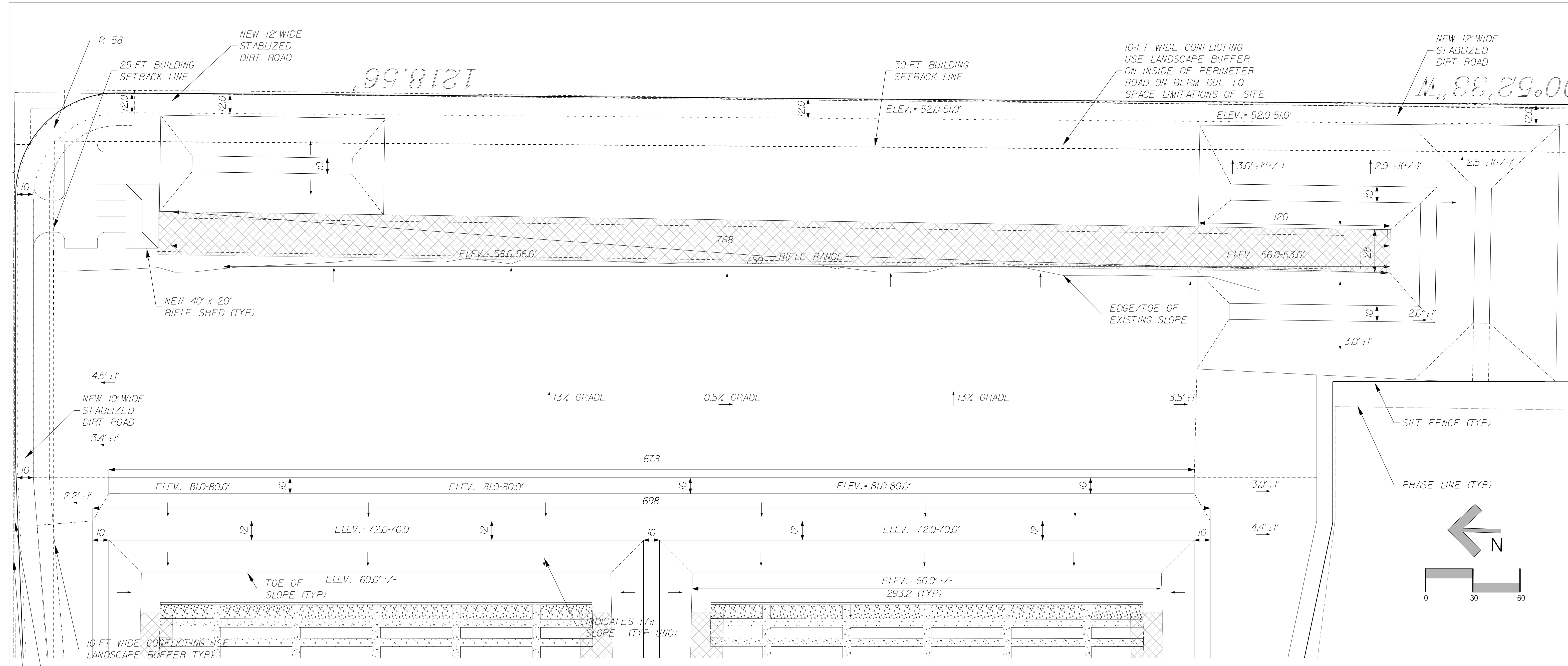
NASSAU COUNTY SHERIFF

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX PHASE I

ENLARGED GEOMETRY PLAN PISTOL RANGE

Registered Professional

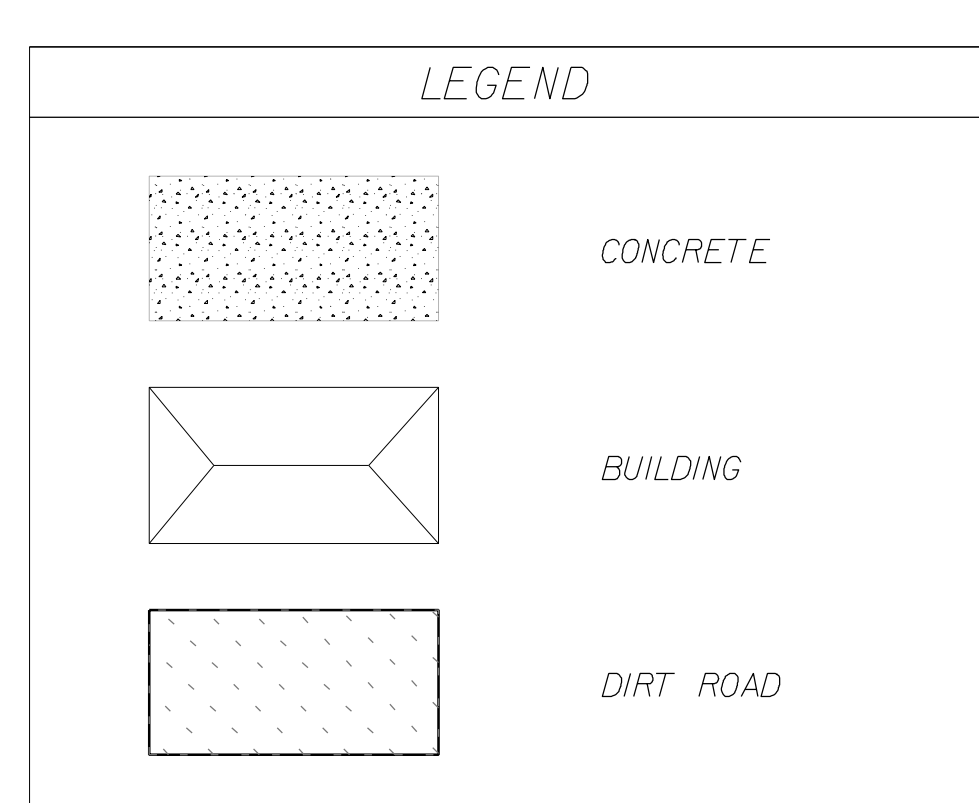
Sheet No. GE-2
 6 of 16
 Issue Date: 23 OCTOBER 2019
 Project No. 19J03



NEW 10' WIDE STABILIZED DIRT ROAD
 3.4' : 1'
 4.5' : 1'
 2.2' : 1'
 10-FT WIDE CONFLICTING USE LANDSCAPE BUFFER (TYP)
 4-FT TALL WOVEN WIRE PERIMETER FENCING (WOOD POSTS) (TYP)
 PROPERTY BOUNDARY

GENERAL NOTES

GENERAL NOTES:
 PID's: 43-3N-26-0000-0001-0010, 0020, 0030, 0040
 96135 NASSAU PLACE STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
 ZONING: GOVERNMENT
 ACREAGE: 40.71 ACRES
 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: GUN RANGE
 MAX BUILDING HEIGHT: 60 FT
 PROPOSED BUILDING HEIGHT: +/- 25 FT
 BUILDING AREA:
 GOVERNMENT: 7,203 SF
 FLOOR AREA RATIO: 0.17 Ac./ 40.71 Ac. = 0.3%



NOTE: ALL SLOPES 1.7' : 1' UNLESS NOTED OTHERWISE

No.	By	Date	Revision
K			
J			
I			
H			
G			
F			
E	MP	08/31/20	Revised Rifle Range
D	LA	06/30/20	Revised per NCSO Coordination
C	LA	01/10/20	Revised per Nassau County Comments
B	LA	11/26/19	Revised per Nassau County Comments
A	LA	10/23/19	SP19-019 Nassau County SEP
			Revision

Scale: 1" = 30'

Project Mgr: AG
 Designed by: AG
 Drawn by: LA
 QAQC: NG

Gillette & Associates, Inc.
 20 South 4th Street
 Fernandina Beach, FL 32034
 Certificate of Authorization No. 9332

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 GILLETTE & ASSOCIATES, INC.
 20 SOUTH 4TH STREET
 FERNANDINA BEACH, FL 32034
 PHONE: (904) 261-8819

NASSAU COUNTY SHERIFF
 NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX
 PHASE I

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX
 PHASE I

ENLARGED GEOMETRY PLAN
 RIFLE RANGE

Registered Professional

Sheet No. GE-3
 7 of 16
 Issue Date: 23 OCTOBER 2019
 Project No. 19J013

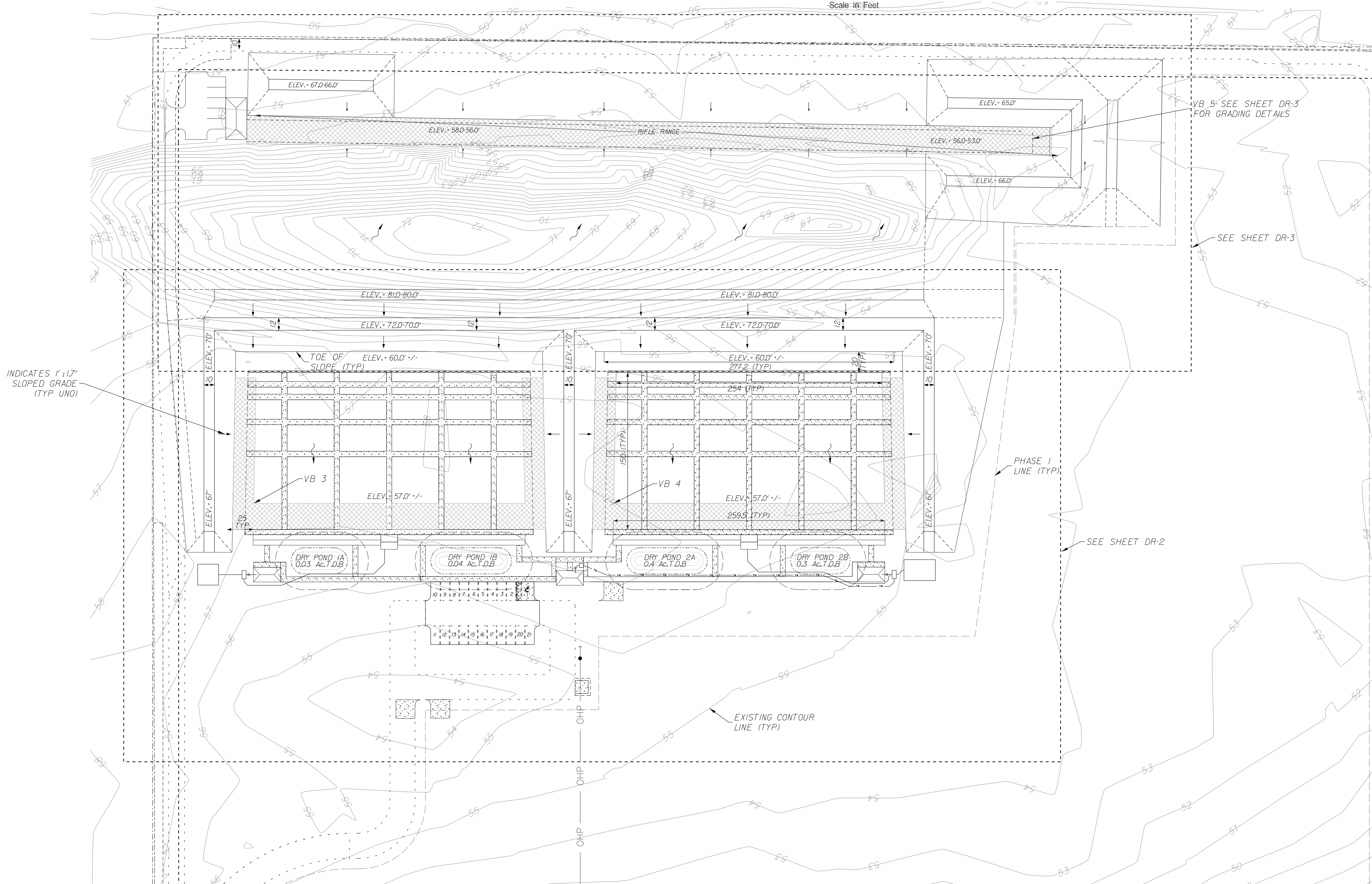
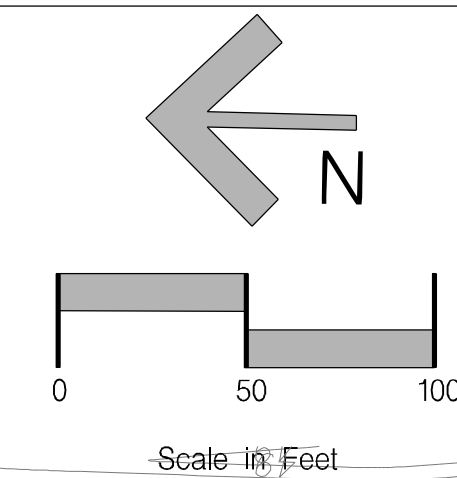
GENERAL NOTES

GENERAL NOTES:
 PID#s: 43-3N-26-0000-0001-0010,0020,0030,0040)
 96135 NASSAU PLACE STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
 ZONING: GOVERNMENT
 ACREAGE: 40.71 ACRES
 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: GUN RANGE
 MAX BUILDING HEIGHT: 60 FT
 PROPOSED BUILDING HEIGHT: +/- 25 FT
 BUILDING AREA:
 GOVERNMENT: 7,203 SF
 FLOOR AREA RATIO: 0.17 Ac./ 40.71 Ac. = 0.3%
 DEVELOPMENT REQUIREMENTS:
 MAXIMUM IMPERVIOUS AREA: 65%
 SHOWN IMPERVIOUS AREA: 0.27 Ac./ 40.71 Ac. = 0.6%
 SETBACK REQUIREMENTS (GOVERNMENT):
 FRONT- 25' WIDE
 SIDES- 30' WIDE
 REAR- 20' WIDE

PLAN NOTES:

ALL BERM SLOPES ARE (1.0' RISE / 1.7' RUN)
 DESIGNED TO MINIMIZE CHANCE OF RICOCHET
 BERM DIMENSIONS SUBJECT TO CHANGE PENDING ADDITIONAL
 BALLISTICS INFORMATION

VARIANCE SECTION 11J AND 9.5.3 OF ORDINANCE NO.99-17 N.C.
 LDC APPROVED BY APPROVAL LETTER ISSUED AUGUST 23,
 2019 BY INTERM COUNTY ENGINEER.



LEGEND

- VEGETATIVE BUFFER
- CONCRETE
- BUILDING
- DIRT ROAD

B:\FileNames\85

No.	By	Date	Revision
K			
J			
I			
H			
G			
F			
E	MP	08/31/20	Revised Rifle Range
D	LA	06/30/20	Revised per NCSO Coordination
C	LA	01/10/20	Revised per Nassau County Comments
B	LA	11/26/19	Revised per Nassau County Comments
A	LA	10/23/19	SP19-019 Nassau County SEP
			Revision

Scale: 1" = 50'
 Project Mgr: AG
 Designed by: AG
 Drawn by: LA
 QAQC: NG

Gillette & Associates, Inc.
 20 South 4th Street
 Fernandina Beach, FL 32034
 Certificate of Authorization No.9332
 DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"

G & A
 GILLETTE & ASSOCIATES, INC.
 20 SOUTH 4TH STREET
 FERNANDINA BEACH, FL 32034
 PHONE: (904) 261-8819

NASSAU COUNTY SHERIFF

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX PHASE I

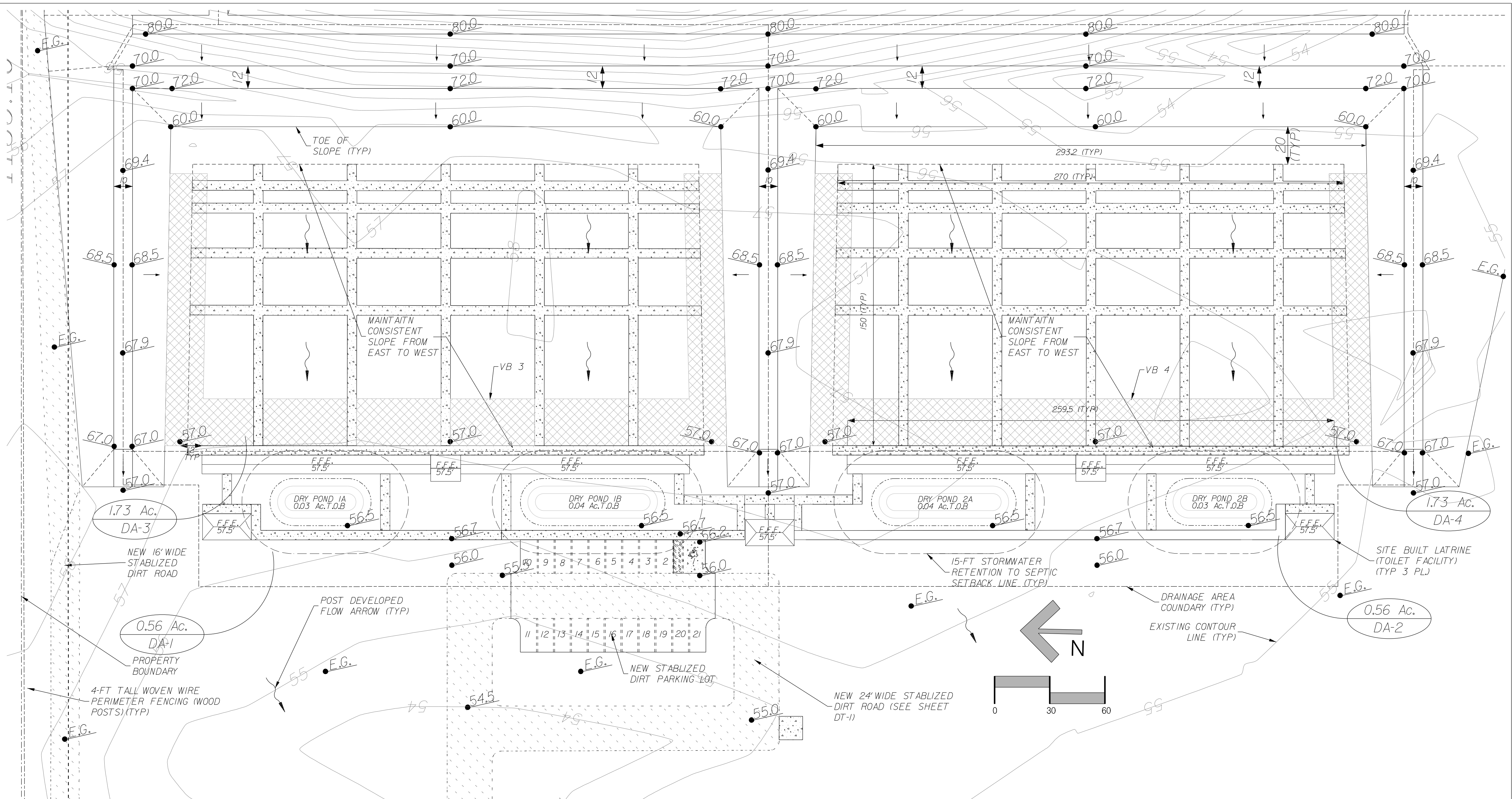
OVERALL DRAINAGE PLAN

Registered Professional

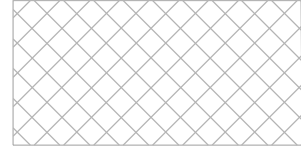
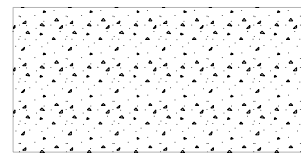
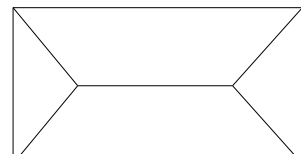
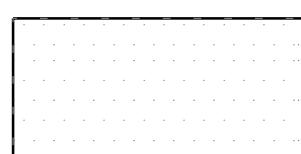
Sheet No. DR-1
 8 of 16
 Issue Date 23 OCTOBER 2019
 Project No. 19J03

GENERAL NOTES

GENERAL NOTES:
 PID#s: 43-3N-26-0000-0001-0010,0020,0030,0040)
 96135 NASSAU PLACE STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
 ZONING: GOVERNMENT
 ACREAGE: 40.71 ACRES
 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: GUN RANGE
 MAX BUILDING HEIGHT: 60 FT
 PROPOSED BUILDING HEIGHT: +/- 25 FT
 BUILDING AREA:
 GOVERNMENT: 7,203 SF
 FLOOR AREA RATIO: 0.17 Ac./ 40.71 Ac. = 0.3%
 DEVELOPMENT REQUIREMENTS:
 MAXIMUM IMPERVIOUS AREA: 65%
 SHOWN IMPERVIOUS AREA: 0.27 Ac./ 40.71 Ac. = 0.6%
 SETBACK REQUIREMENTS (GOVERNMENT):
 FRONT- 25' WIDE
 SIDES- 30' WIDE
 REAR- 20' WIDE



LEGEND

-  VEGETATIVE BUFFER
-  CONCRETE
-  BUILDING
-  DIRT ROAD

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No.	By	Date	Revision
K			
J			
I			
H			
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F			
E	MP	08/31/20	Revised Rifle Range
D	LA	06/30/20	Revised per NCSO Coordination
C	LA	01/10/20	Revised per Nassau County Comments
B	LA	11/26/19	Revised per Nassau County Comments
A	LA	10/23/19	SP19-019 Nassau County SEP
No.	By	Date	Revision

Scale: 1" = 30'
 Project Mgr: AG
 Designed by: AG
 Drawn by: LA
 QAQC: NG

Gillette & Associates, Inc.
 20 South 4th Street
 Fernandina Beach, FL 32034
 Certificate of Authorization No. 9332
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G & A⁺
 GILLETTE & ASSOCIATES, INC.
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 FERNANDINA BEACH, FL 32034
 PHONE: (904) 261-8819

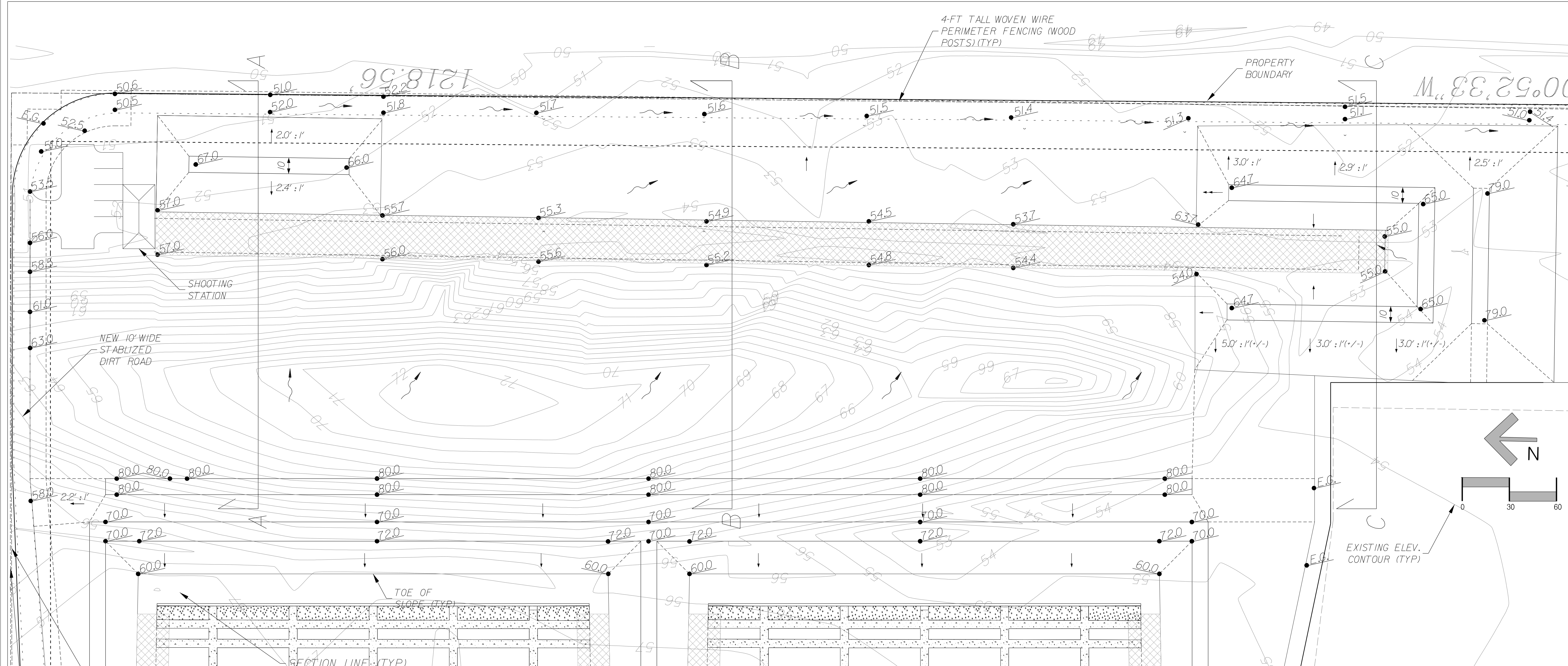
NASSAU COUNTY SHERIFF

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX PHASE I

ENLARGED DRAINAGE PLAN PISTOL RANGE

Registered Professional

Sheet No. DR-2
 9 of 16
 Issue Date: 23 OCTOBER 2019
 Project No. 19013



LEGEND	
	BUILDING
	VEGETATIVE BUFFER
	DIRT ROAD
	CONCRETE

GENERAL NOTES

GENERAL NOTES:
 PID's: 43-3N-26-0000-0001(0010,0020,0030,0040)
 96135 NASSAU PLACE STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
 ZONING: GOVERNMENT
 ACREAGE: 40.71 ACRES
 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: GUN RANGE
 MAX BUILDING HEIGHT: 60 FT
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 BUILDING AREA:
 GOVERNMENT: 7,203 SF
 FLOOR AREA RATIO: 0.17 Ac./ 40.71 Ac. = 0.3%

No.	By	Date	Revision
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A	LA	10/23/19	SP19-019 Nassau County SEP
No.	By	Date	Revision

Scale: 30'

Project Mgr: AG

Designed by: AG

Drawn by: LA

QAQC: NG

Gillette & Associates, Inc.
 20 South 4th Street
 Fernandina Beach, FL 32034

Certificate of Authorization No. 9332

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 GILLETTE & ASSOCIATES, INC.
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 PHONE: (904) 261-8819

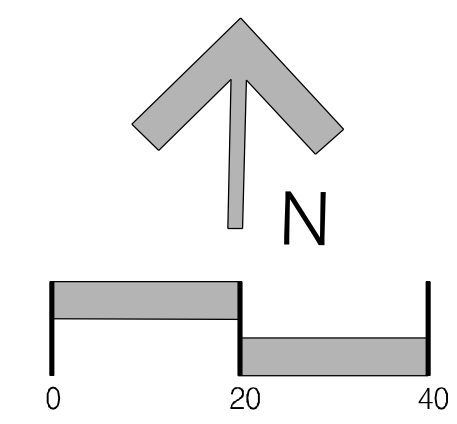
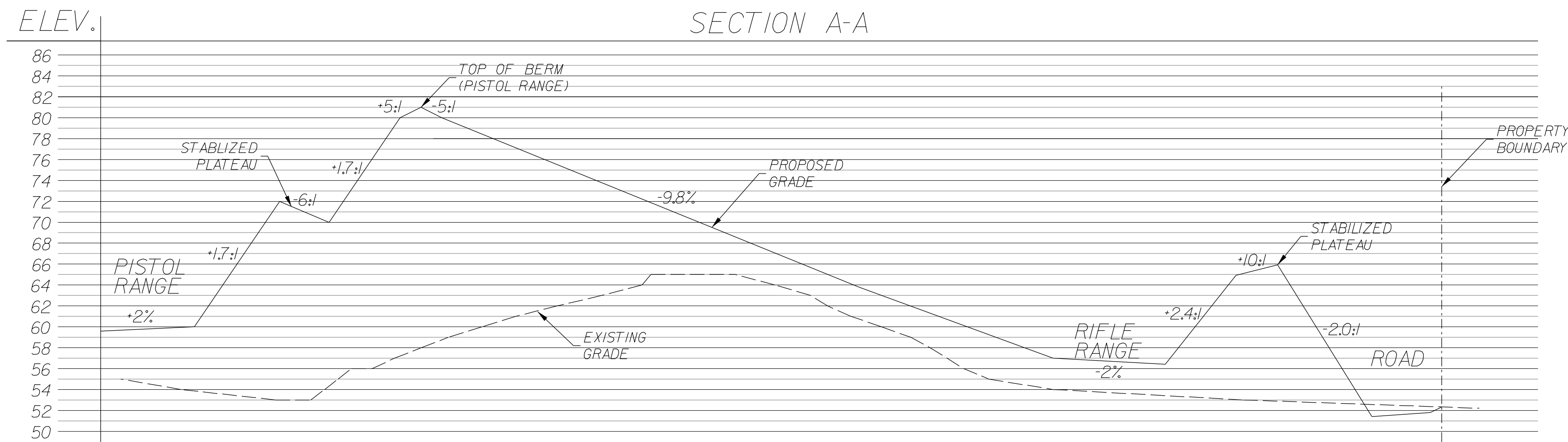
NASSAU COUNTY SHERIFF

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX PHASE I

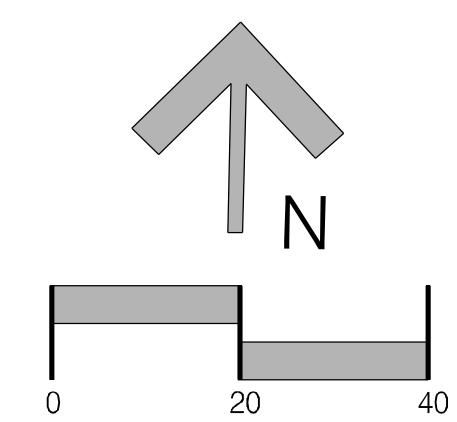
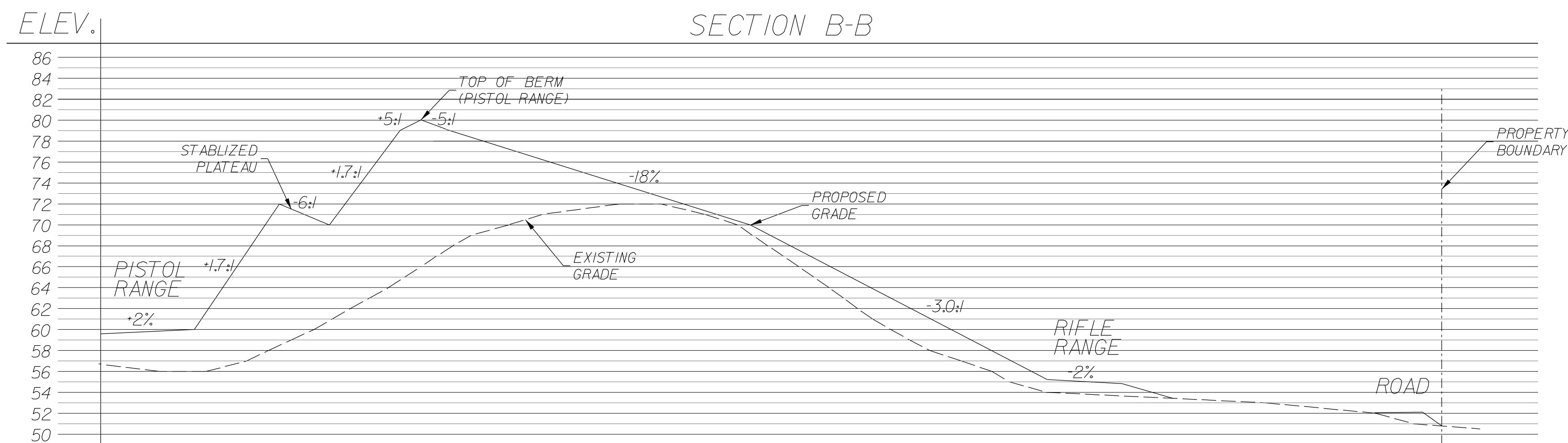
ENLARGED DRAINAGE PLAN RIFLE RANGE

Sheet No. DR-3
 10 of 16
 Issue Date: 23 OCTOBER 2019
 Project No. 19J013
 Registered Professional

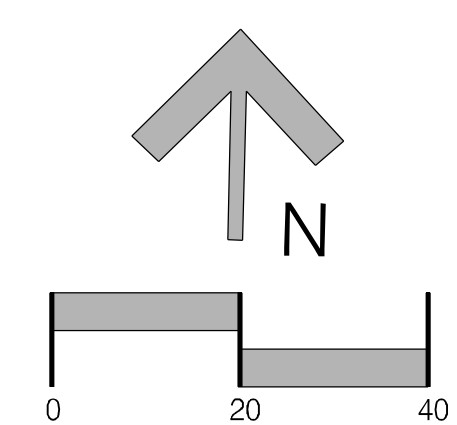
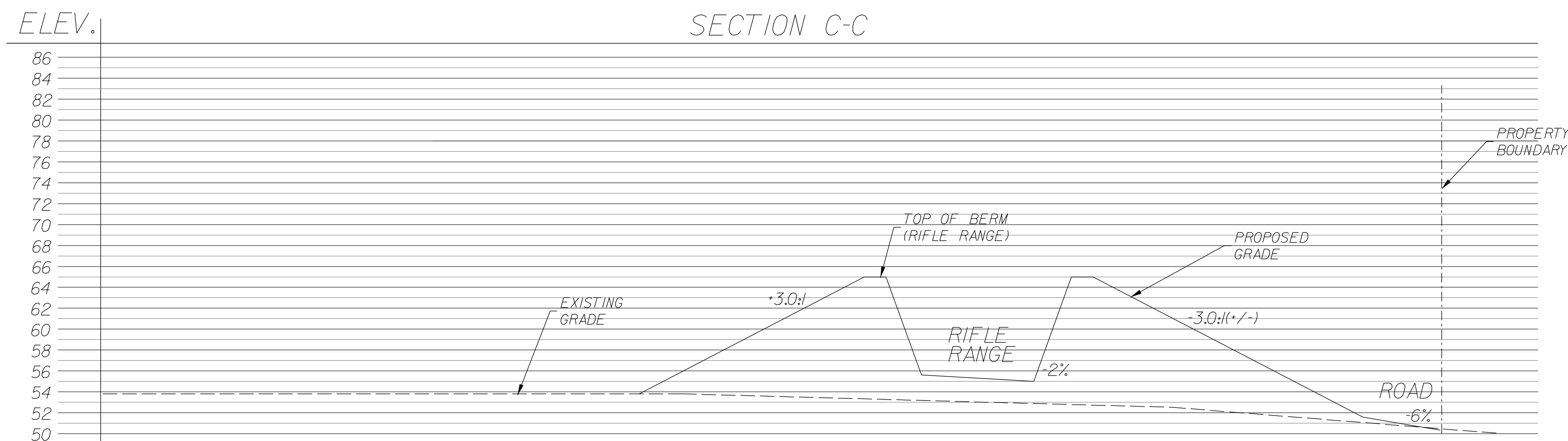
SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 5'



SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 5'



SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 5'



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E	MP	08/31/20	Revised Rifle Range
D	LA	06/30/20	Revised per NCSO Coordination
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B	LA	11/26/19	Revised per Nassau County Comments
A	LA	10/23/19	SP19-019 Nassau County SEP
No.	By	Date	Revision

Scale:	AS NOTED
Project Mgr:	AG
Designed by:	AG
Drawn by:	LA
QA/QC:	NG

Gillette & Associates, Inc.
20 South 4th Street
Fernandina Beach, FL 32034
Certificate of Authorization No. 9332
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G & A
GILLETTE & ASSOCIATES, INC.
20 SOUTH 4TH STREET
FERNANDINA BEACH, FL 32034
PHONE: (904) 261-8819

NASSAU COUNTY SHERIFF

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX PHASE I

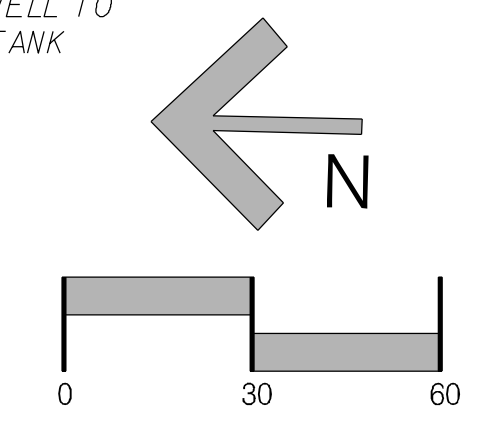
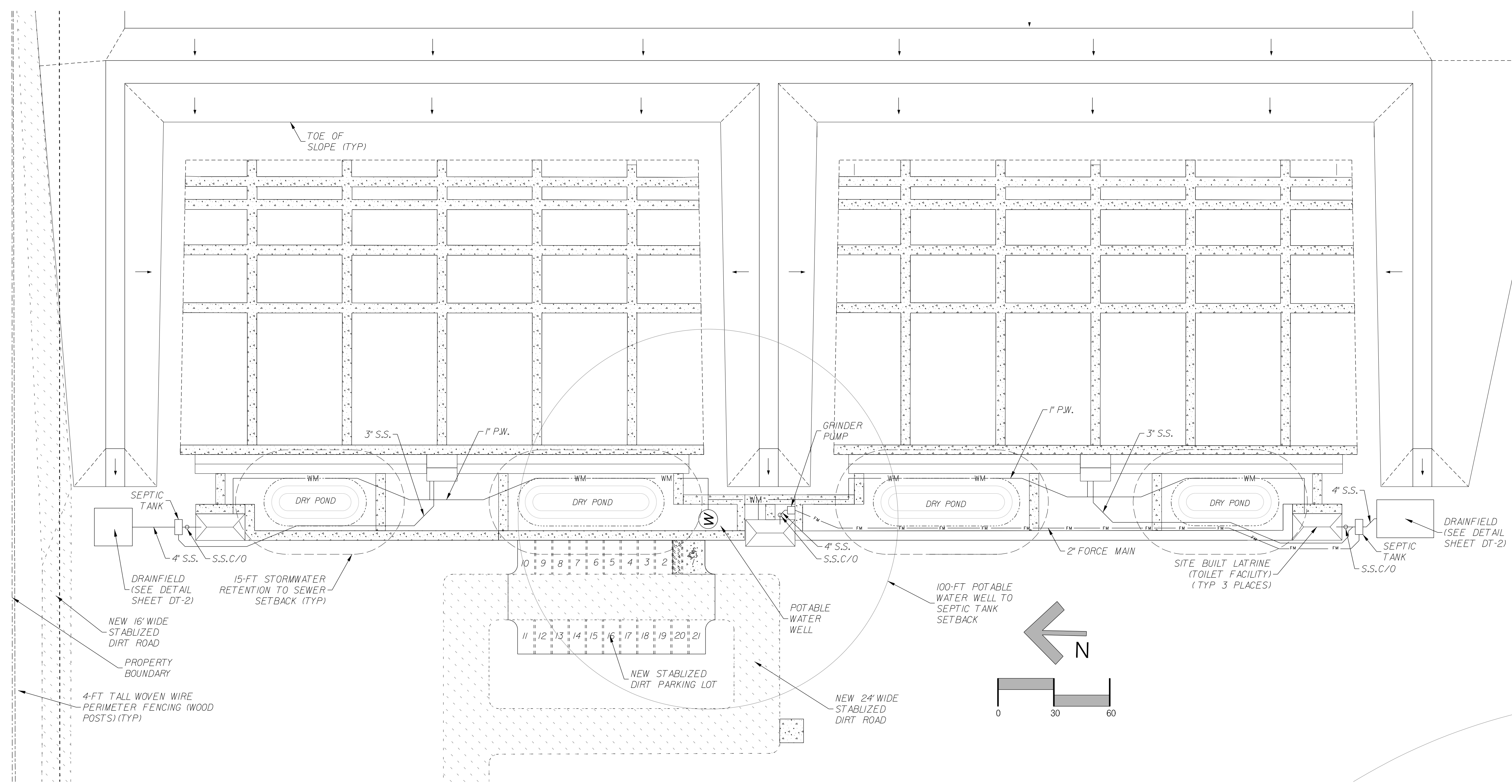
PROFILE SHEET 1

Registered Professional

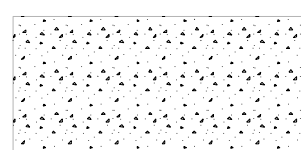
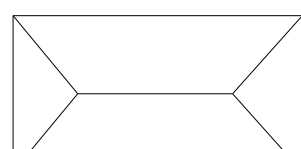
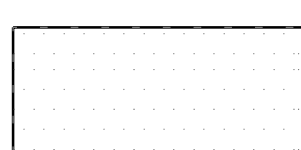
Sheet No. PP-1
11A of 16
Issue Date 23 OCTOBER 2019
Project No. 19J013

GENERAL NOTES

GENERAL NOTES:
 PID#s: 43-3N-26-0000-0001-0010,0020,0030,0040)
 96135 NASSAU PLACE STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
 ZONING: GOVERNMENT
 ACREAGE: 40.71 ACRES
 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: GUN RANGE
 MAX BUILDING HEIGHT: 60 FT
 PROPOSED BUILDING HEIGHT: +/- 25 FT
 BUILDING AREA:
 GOVERNMENT: 7,203 SF
 FLOOR AREA RATIO: 0.17 Ac./ 40.71 Ac. = 0.3%
 UTILITIES:
 -WATER: WELL
 -SEWER: SEPTIC AND DRAINFIELD
 -POWER: OKEEFENOKEE POWER & LIGHT



LEGEND

-  CONCRETE
-  BUILDING
-  DIRT ROAD

B:\FileNames\B

No.	By	Date	Revision
K			
J			
I			
H			
G			
F			
E	MP	08/31/20	Revised Rifle Range
D	LA	06/30/20	Revised per NCSO Coordination
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B	LA	11/26/19	Revised per Nassau County Comments
A	LA	10/23/19	SP19-019 Nassau County SEP
No.	By	Date	Revision

Scale: 1" = 30'

Project Mgr: AG

Designed by: AG

Drawn by: LA

QA/QC: NG

Gillette & Associates, Inc.
 20 South 4th Street
 Fernandina Beach, FL 32034

Certificate of Authorization No. 9332

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 GILLETTE & ASSOCIATES, INC.
 20 SOUTH 4TH STREET
 FERNANDINA BEACH, FL 32034
 PHONE: (904) 261-8819

NASSAU COUNTY SHERIFF

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX PHASE I

UTILITY PLAN

Registered Professional

Sheet No. UT-1
 12 of 16
 Issue Date: 23 OCTOBER 2019
 Project No. 19J03

GENERAL NOTES

GENERAL NOTES:
 PID#s: 43-3N-26-0000-0001-0010,0020,0030,0040
 96135 NASSAU PL STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
 ZONING: GOVERNMENT
 ACREAGE: 40.71 ACRES
 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: GUN RANGE
 MAX BUILDING HEIGHT: 60 FT
 PROPOSED BUILDING HEIGHT: +/- 25 FT
 BUILDING AREA:
 GOVERNMENT: 7,203 SF
 FLOOR AREA RATIO: 0.17 Ac. / 40.71 Ac. = 0.3%

LANDSCAPING NOTES

PERIMTER LANDSCAPE STRIPS:
 NORTH- NONE, EAST- NONE, SOUTH- NONE
 WEST- LOCAL ROAD MIN 10-FT WIDE, 13190 SF
 2 NCT / 100' X 1319' = 26 NCT
 3 UST / 100' X 1319' = 40 UST

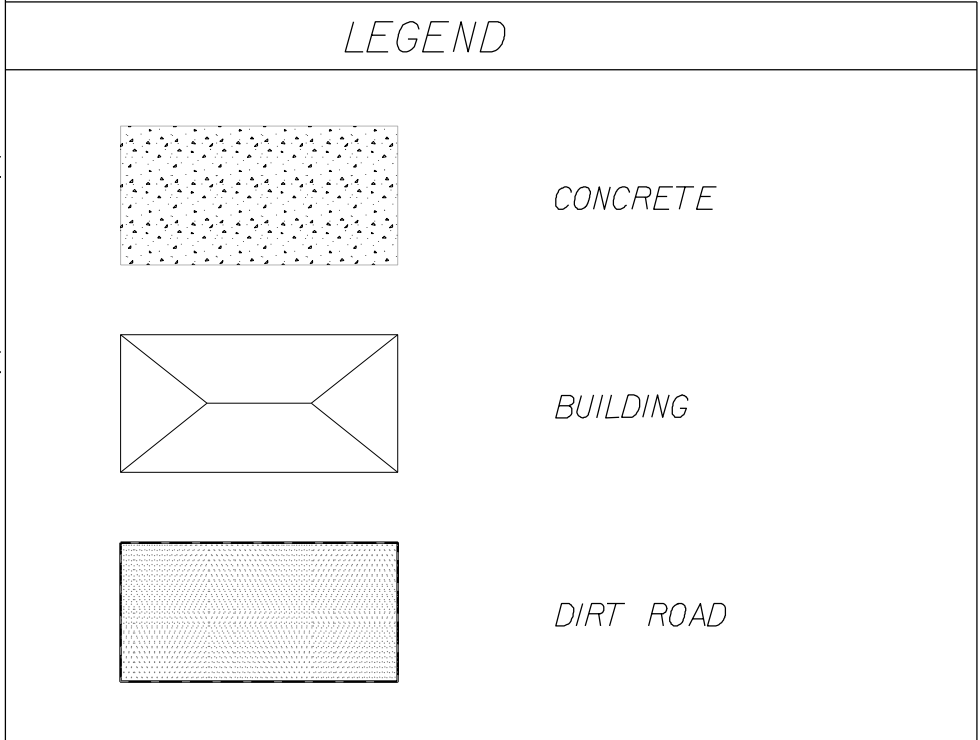
CONFLICTING USE BUFFERS:
 NORTH- 10-FT WIDE, L-TYPE, 14,650 SF
 3 NCT / 100 FT X 1465 FT = 44 NCT
 67 SHRUBS / 100 FT X 1465 FT = 982 SHRUBS
 EAST- 10-FT WIDE, L-TYPE, 12,190 SF
 3 NCT / 100 FT X 1219 FT = 37 NCT
 67 SHRUBS / 100 FT X 1219 FT = 817 SHRUBS
 SOUTH- 10-FT WIDE, L-TYPE, 13,810 SF
 3 NCT / 100 FT X 1381 FT = 41 NCT
 67 SHRUBS / 100 FT X 1381 FT = 925 SHRUBS

NATURAL AREAS WHICH CONTAIN SIGNIFICANT GROWTH THAT SERVE THE FUNCTIONAL PURPOSE OF PROVIDING DEPTH AND VARIATIONS IN HEIGHT MAY SUPPLEMENT NEW PLANTINGS IN PART OR WHOLE, DEPENDING UPON THE QUALITY OF NATURAL VEGETATION. AT INSPECTION, ADDITIONAL PLANTINGS MAY BE REQUIRED IF ADEQUATE VISUAL SEPARATION IS NOT ACHIEVED.

MINIMUM INTERIOR LANDSCAPING:
 10% LOT AREA MINUS TOTAL BUFFER AREAS
 0.10 X (40.71 - 1.24 ACRES) = 39.47 ACRES = 3.95 ACRES
 3.95 ACRES X (1 NCT / 500 SF) = 344 NCT
 PHASE I (1.050 / 39.5 ACRES) = 0.38 X 344 NCT = 131 NCT
 PHASE II (1.39 / 39.5 ACRES) = 0.10 X 344 NCT = 34 NCT
 PHASE III (1.205 / 39.5 ACRES) = 0.52 X 344 NCT = 166 NCT

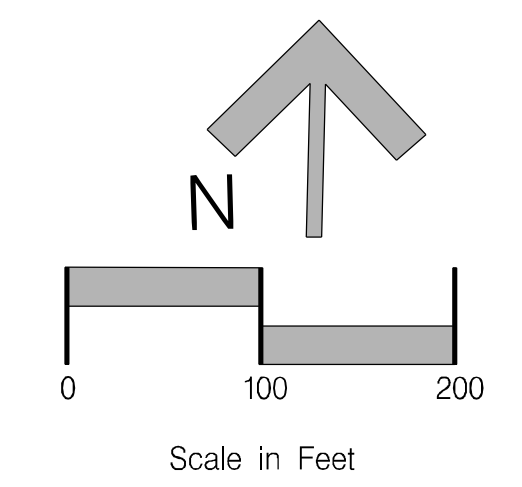
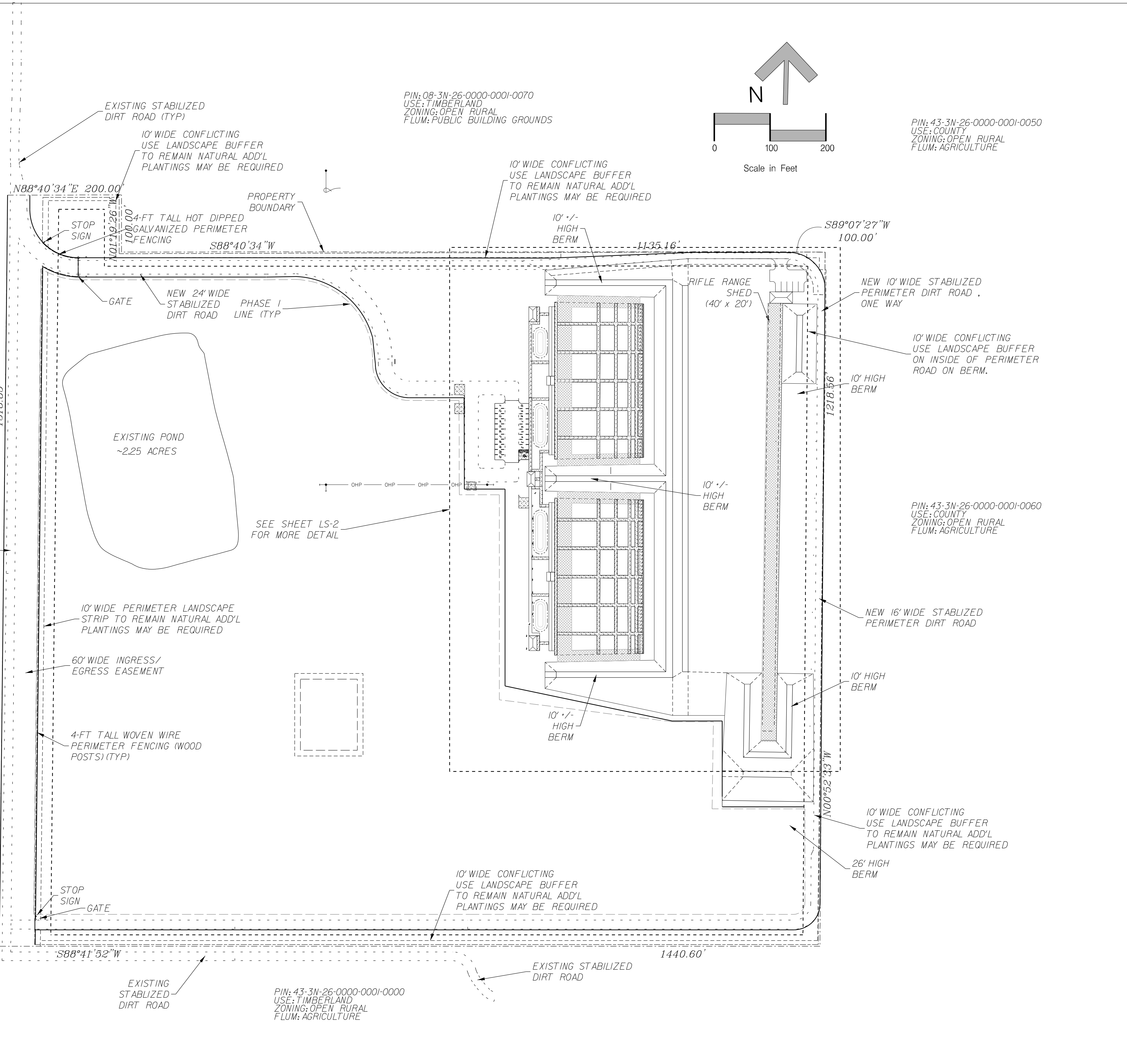
TREE PLANTING REQUIREMENTS TO BE FULFILLED IN PHASE II OF DEVELOPMENT

EXISTING TREES THAT ARE PRESERVED CAN BE USED TOWARDS INTERIOR LANDSCAPING TREE PLANTING REQUIREMENTS



No.	By	Date	Revision
K			
J			
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F			
E	MP	08/31/20	Revised Rifle Range
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A	LA	10/23/19	SP19-019 Nassau County SEP
			Revision

NOTE: ALL BERM INTERIOR UPWARD SLOPES ARE (1' RISE TO 1.7' RUN) DESIGNED TO MINIMIZE CHANCE OF RICOCCHET
 NOTE: VARIANCE SECTION 11.1J AND 9.5.3 OF ORDINANCE NO. 99-17 N.C.LDC APPROVED BY APPROVAL LETTER ISSUED AUGUST 23, 2019 BY INTERM COUNTY ENGINEER.



85\FileName.sss

Scale: 1" = 100'

Project Mgr: AG
 Designed by: AG
 Drawn by: LA
 QAQC: NG

Gillette & Associates, Inc.
 20 South 4th Street
 Fernandina Beach, FL 32034
 Certificate of Authorization No. 9332

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"

G & A
 GILLETTE & ASSOCIATES, INC.
 20 SOUTH 4TH STREET
 FERNANDINA BEACH, FL 32034
 PHONE: (904) 261-8819

NASSAU COUNTY SHERIFF
 NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX
 PHASE I

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX
 PHASE I

PERIMETER LANDSCAPE PLAN

Registered Professional

Sheet No. LS-1
 13 of 16
 Issue Date 23 OCTOBER 2019
 Project No. 19013

GENERAL NOTES

GENERAL NOTES:
 PID's: 43-3N-26-0000-0001-0010,0020,0030,0040)
 96135 NASSAU PLACE STE 1
 LOCATION: NASSAU CO., FL
 FLOOD ZONE: X
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 FUTURE LAND USE: PUBLIC BUILDING GROUNDS
 USE: GUN RANGE
 MAX BUILDING HEIGHT: 60 FT
 PROPOSED BUILDING HEIGHT: +/- 25 FT
 BUILDING AREA:
 GOVERNMENT: 7,203 SF
 FLOOR AREA RATIO: 0.17 Ac. / 40.71 Ac. = 0.3%

LANDSCAPING NOTES

PERIMETER LANDSCAPE STRIPS:
 NORTH- NONE, EAST- NONE, SOUTH- NONE
 WEST- LOCAL ROAD MIN 10-FT WIDE, 13190 SF
 2 NCT / 100' X 1319' = 26 NCT
 3 UST / 100' X 1319' = 40 UST

CONFLICTING USE BUFFERS:
 NORTH- 10-FT WIDE, L-TYPE, 14650 SF
 3 NCT / 100 FT X 1465 FT = 44 NCT
 67 SHRUBS / 100 FT X 1465 FT = 982 SHRUBS

EAST-
 10-FT WIDE, L-TYPE, 12190 SF
 3 NCT / 100 FT X 1219 FT = 37 NCT
 67 SHRUBS / 100 FT X 1219 FT = 817 SHRUBS

SOUTH-
 10-FT WIDE, L-TYPE, 13810 SF
 3 NCT / 100 FT X 1381 FT = 41 NCT
 67 SHRUBS / 100 FT X 1381 FT = 925 SHRUBS

NATURAL AREAS WHICH CONTAIN SIGNIFICANT GROWTH THAT SERVE THE FUNCTIONAL PURPOSE OF PROVIDING DEPTH AND VARIATIONS IN HEIGHT MAY SUPPLEMENT NEW PLANTINGS IN PART OR WHOLE DEPENDING UPON THE QUALITY OF NATURAL VEGETATION. AT INSPECTION ADDITIONAL PLANTINGS MAY BE REQUIRED IF ADEQUATE VISUAL SEPARATION IS NOT ACHIEVED.

MINIMUM INTERIOR LANDSCAPING:
 10% LOT AREA MINUS TOTAL BUFFER AREAS
 0.10 X (40.71 - 1.24 ACRES) = 39.47 ACRES = 3.95 ACRES
 3.95 ACRES X (1 NCT / 500 SF) = 344 NCT
 PHASE I (115.0 / 39.5 ACRES) = 0.38 X 344 NCT = 131 NCT
 PHASE II (13.9 / 39.5 ACRES) = 0.10 X 344 NCT = 34 NCT
 PHASE III (20.5 / 39.5 ACRES) = 0.52 X 344 NCT = 166 NCT

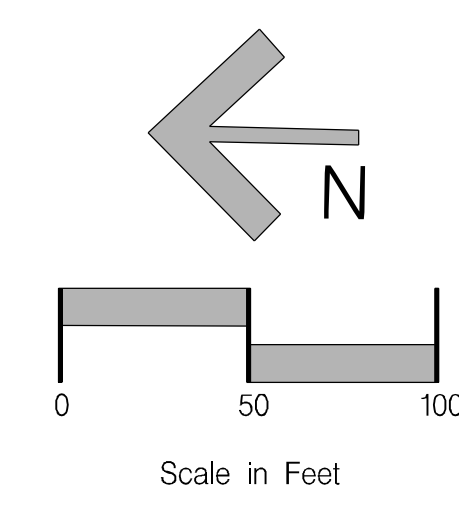
TREE PLANTING REQUIREMENTS TO BE FULFILLED IN PHASE II OF DEVELOPMENT

EXISTING TREES THAT ARE PRESERVED CAN BE USED TOWARDS INTERIOR LANDSCAPING TREE PLANTING REQUIREMENTS

INTERNAL PLANTING PLANT/MATERIAL SCHEDULE

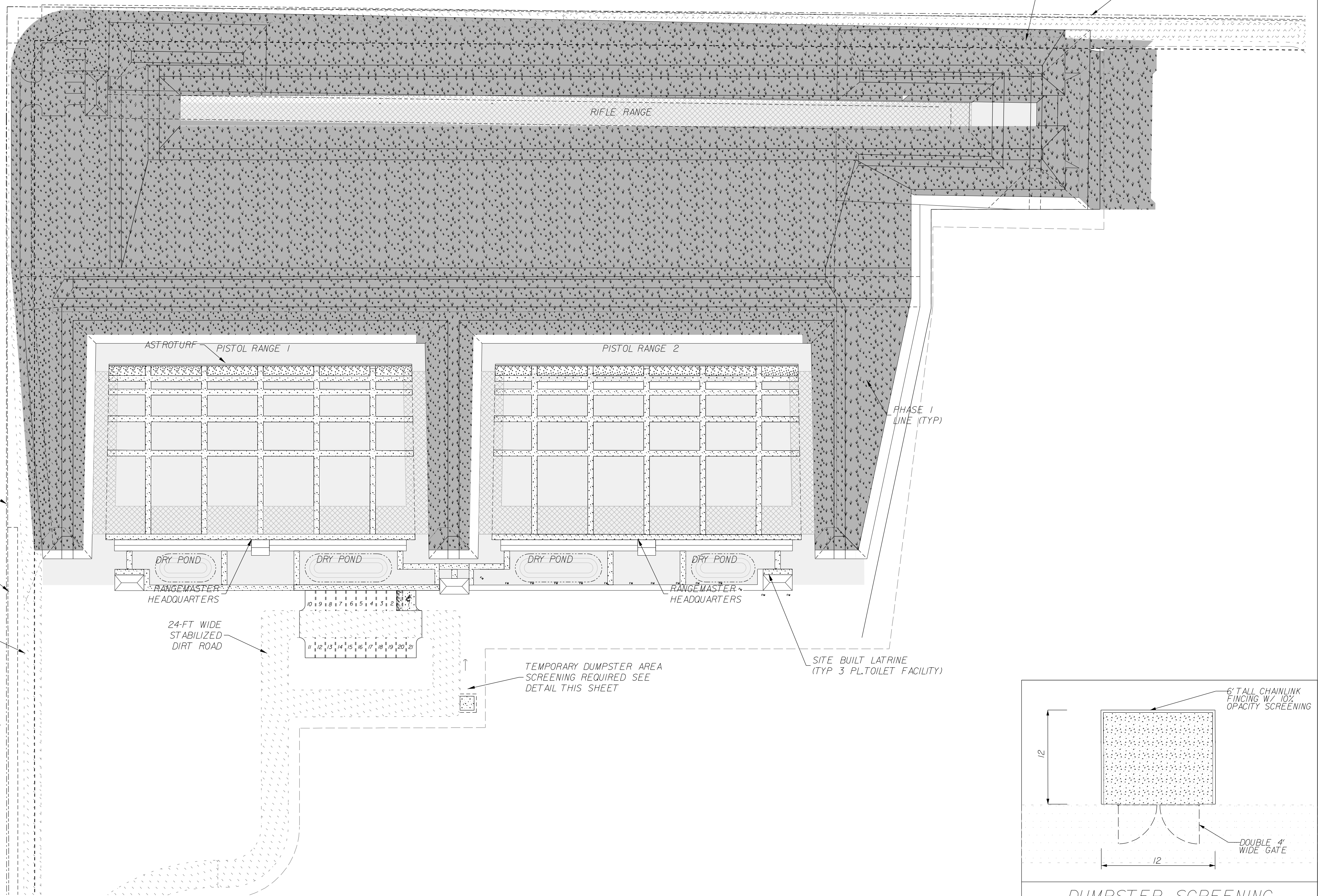
QUANTITY	KEY	SPECIES	SIZE/REMARKS
2.89 ACRES	PASTURE	PASPALUM NOTATUM, TRIFOLIUM	ESTABLISH BY SEED
	SEED MIX	INCARNATUM, TRIFOLIUM REPENS	
		SEED RATES (LBS/ACRE) @ 1/4-1/2" DEPTH: P. NOTATUM - 20, T. INCARNATUM - 5, T. REPENS - 10	
4.41 ACRES	AG	ARACHIS GLABRATA PERENNIAL PEANUT	ESTABLISH BY RHIZOME SPRIGS
		SPRIG RATE: 80 BUSHELS/ACRE @ 1.25' DEPTH. PLANT W/ SEASONAL NURSE CROP (TBD)	

Scale in Feet



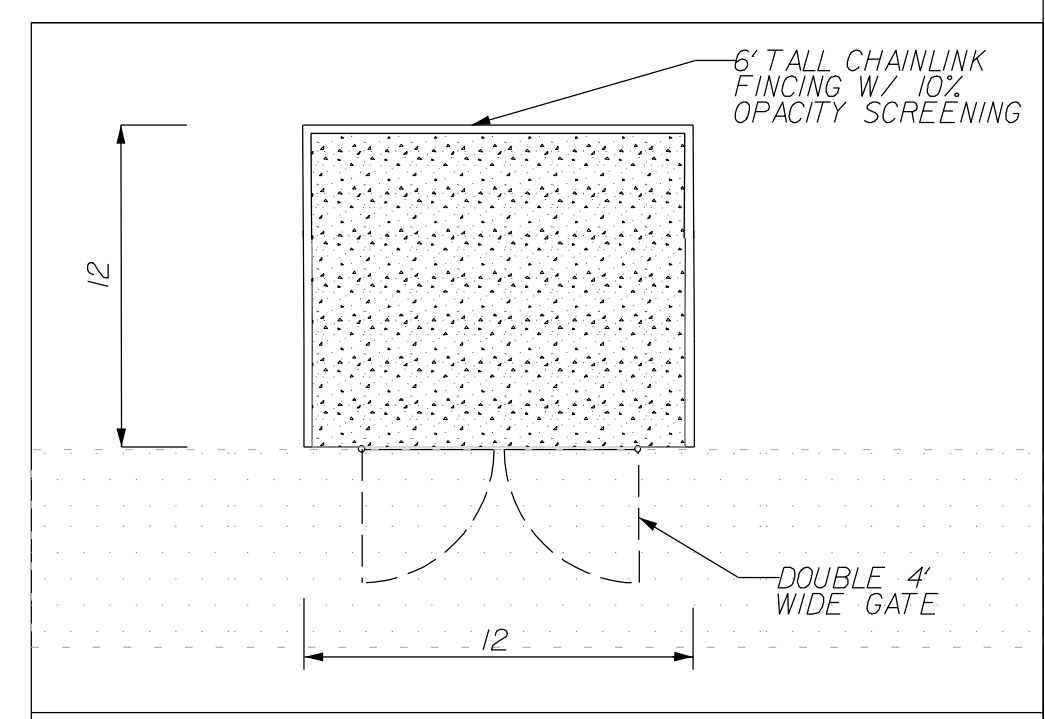
10' WIDE CONFLICTING USE LANDSCAPE BUFFER ON INSIDE OF PERIMETER ROAD AND ON BERM SLOPE DUE TO SPACE LIMITATIONS OF THE SITE.

4-FT TALL WOVEN WIRE PERIMETER FENCING (WOOD POSTS) (TYP)



LEGEND

	CONCRETE
	BUILDING
	DIRT ROAD



No.	By	Date	Revision
K			
J			
I			
H			
G			
F			
E	MP	08/31/20	Revised Rifle Range
D	LA	06/30/20	Revised per NCSO Coordination
C	LA	01/10/20	Revised per Nassau County Comments
B	LA	11/26/19	Revised per Nassau County Comments
A	LA	10/23/19	SP19-019 Nassau County SEP
No.	By	Date	Revision

Scale: 1" = 50'

Project Mgr: AG

Designed by: AG

Drawn by: LA

QA/QC: NG

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 20 South 4th Street
 Fernandina Beach, FL 32034

Certificate of Authorization No. 9332

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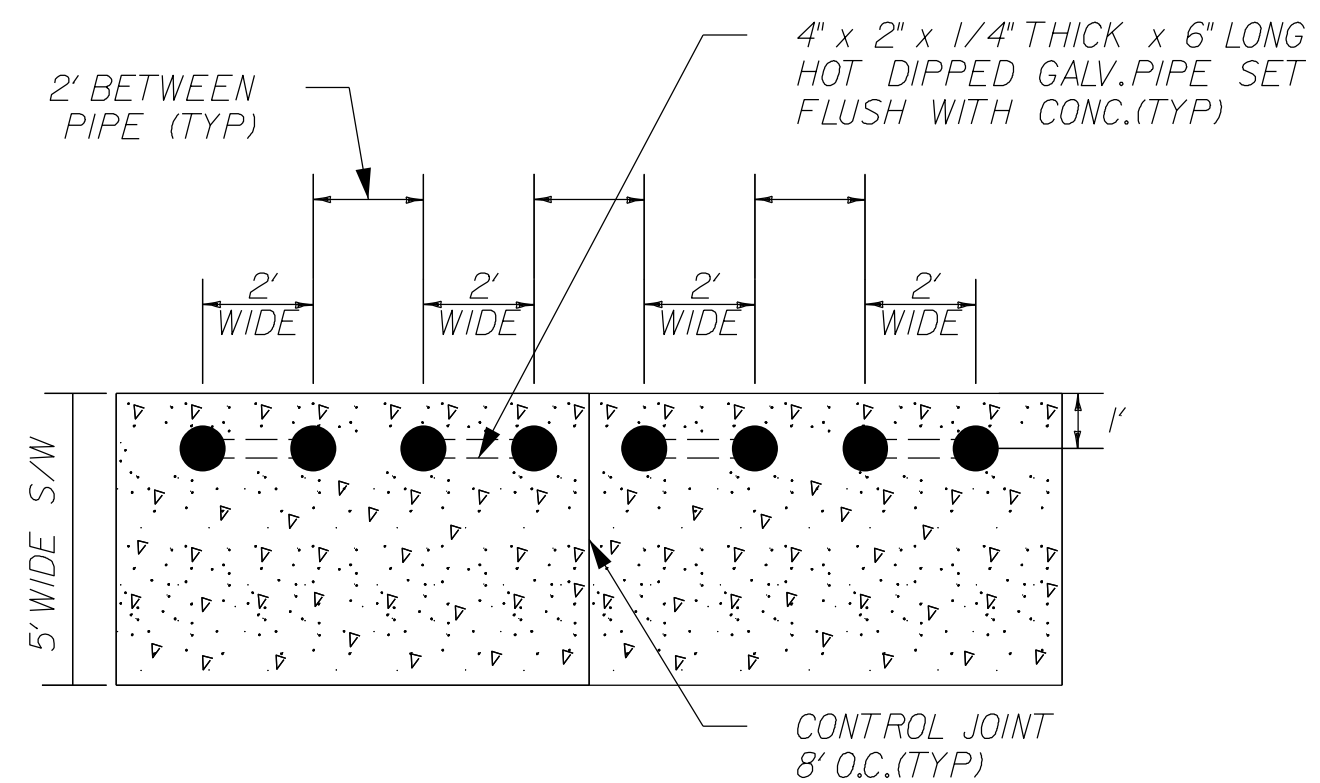
NASSAU COUNTY SHERIFF

NASSAU COUNTY PUBLIC TRAINING CENTER COMPLEX PHASE I

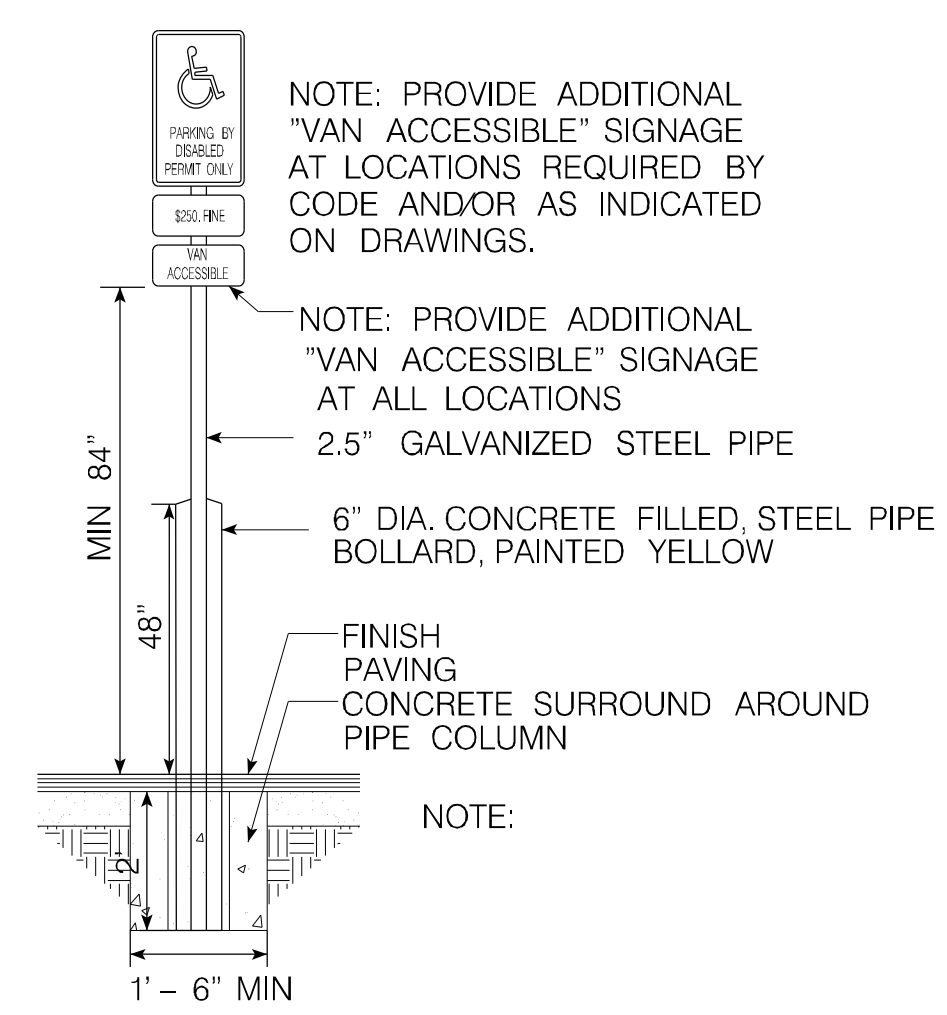
LANDSCAPE PLAN

Registered Professional

Sheet No. LS-2
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 Issue Date: 23 OCTOBER 2019
 Project No. 19013

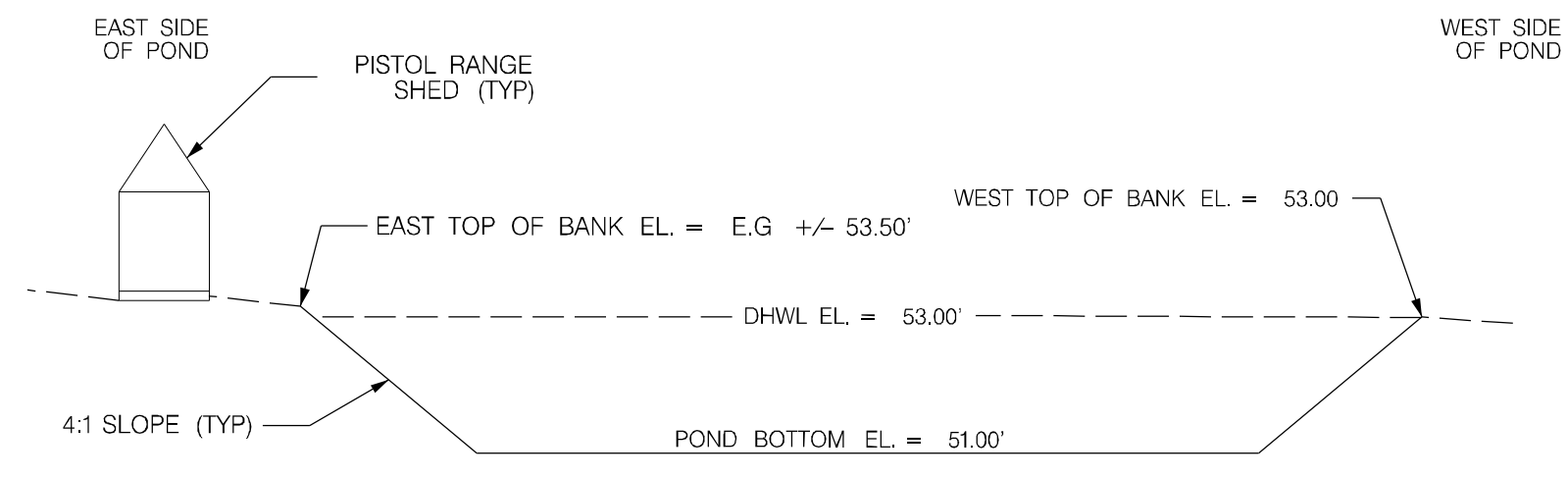


RANGE SIDEWALK DETAIL

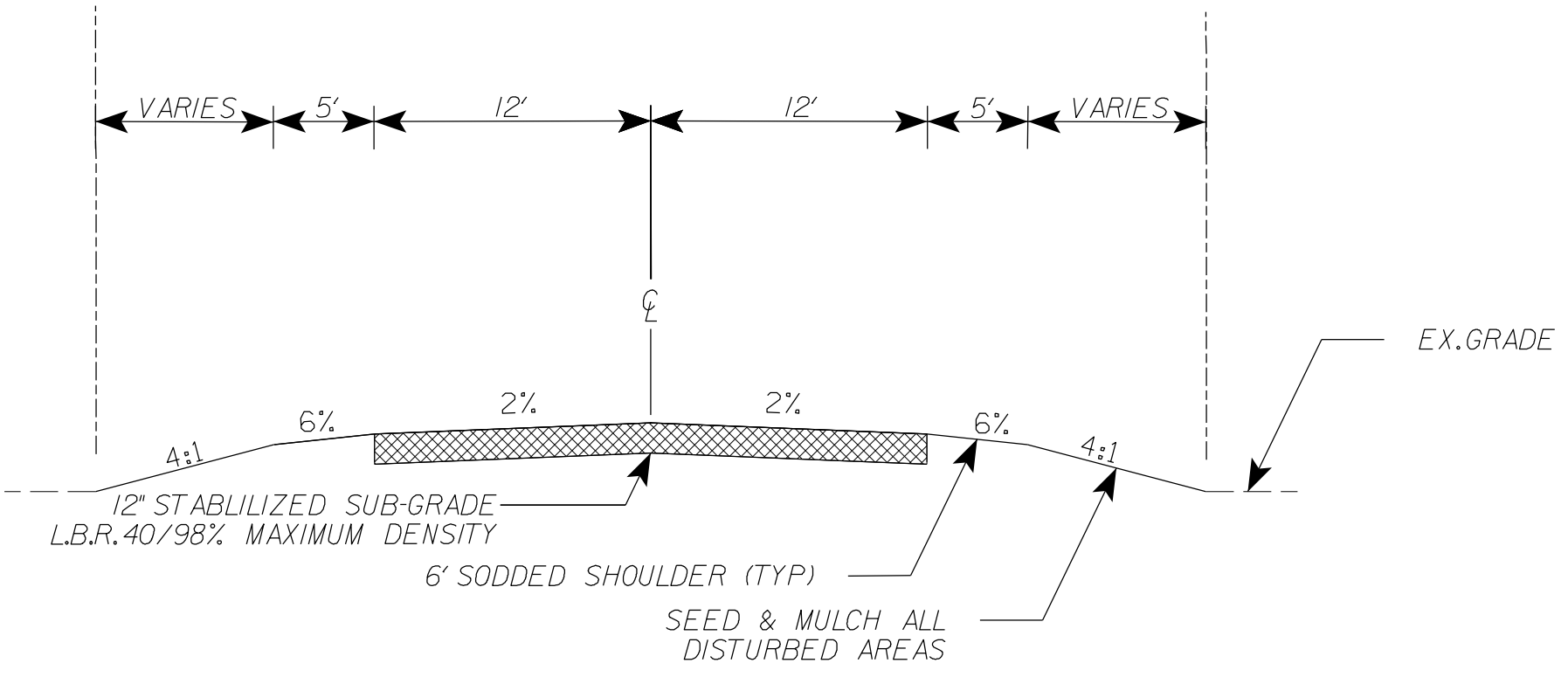


- NOTE: PROVIDE ADDITIONAL "VAN ACCESSIBLE" SIGNAGE AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS.
- NOTE: PROVIDE ADDITIONAL "VAN ACCESSIBLE" SIGNAGE AT ALL LOCATIONS
- 2.5" GALVANIZED STEEL PIPE
- 6" DIA. CONCRETE FILLED, STEEL PIPE BOLLARD, PAINTED YELLOW
- FINISH PAVING CONCRETE SURROUND AROUND PIPE COLUMN
- NOTE:
1. ALL SIGNS SHOWN SHALL CONFORM TO FEDERAL ACCESSIBILITY SPECIFICATIONS.
 2. ALL SIGNS SHOWN SHALL BE REFLECTORIZED TO SHOW THE SAME COLOR BY NIGHT AS BY DAY.
 3. ALL SIGNS SHALL BE SECURELY MOUNTED ON GALVANIZED STEEL CHANNEL POSTS.
 4. INSTALL QUANTITY AND AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS. CONFIRM ALL HANDICAPPED SIGNAGE CODES.

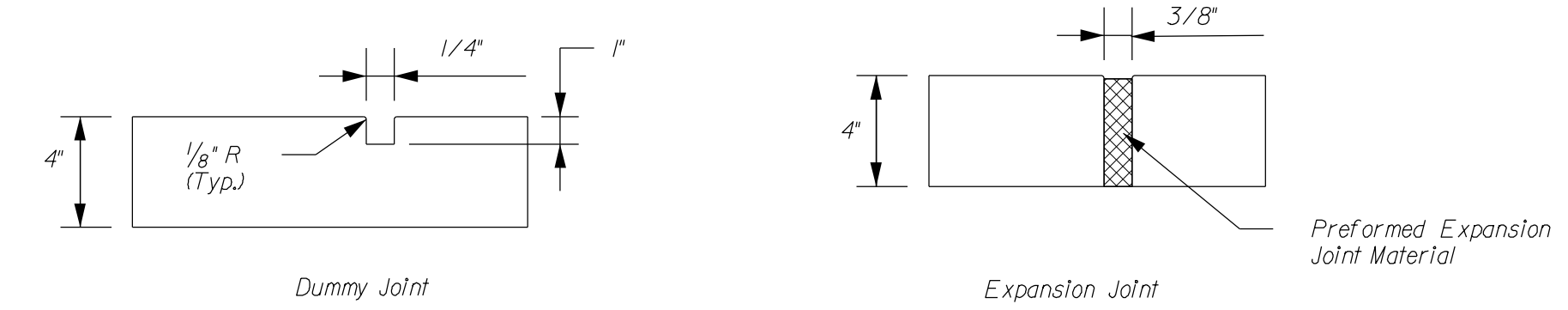
HANDICAP SIGN DETAIL



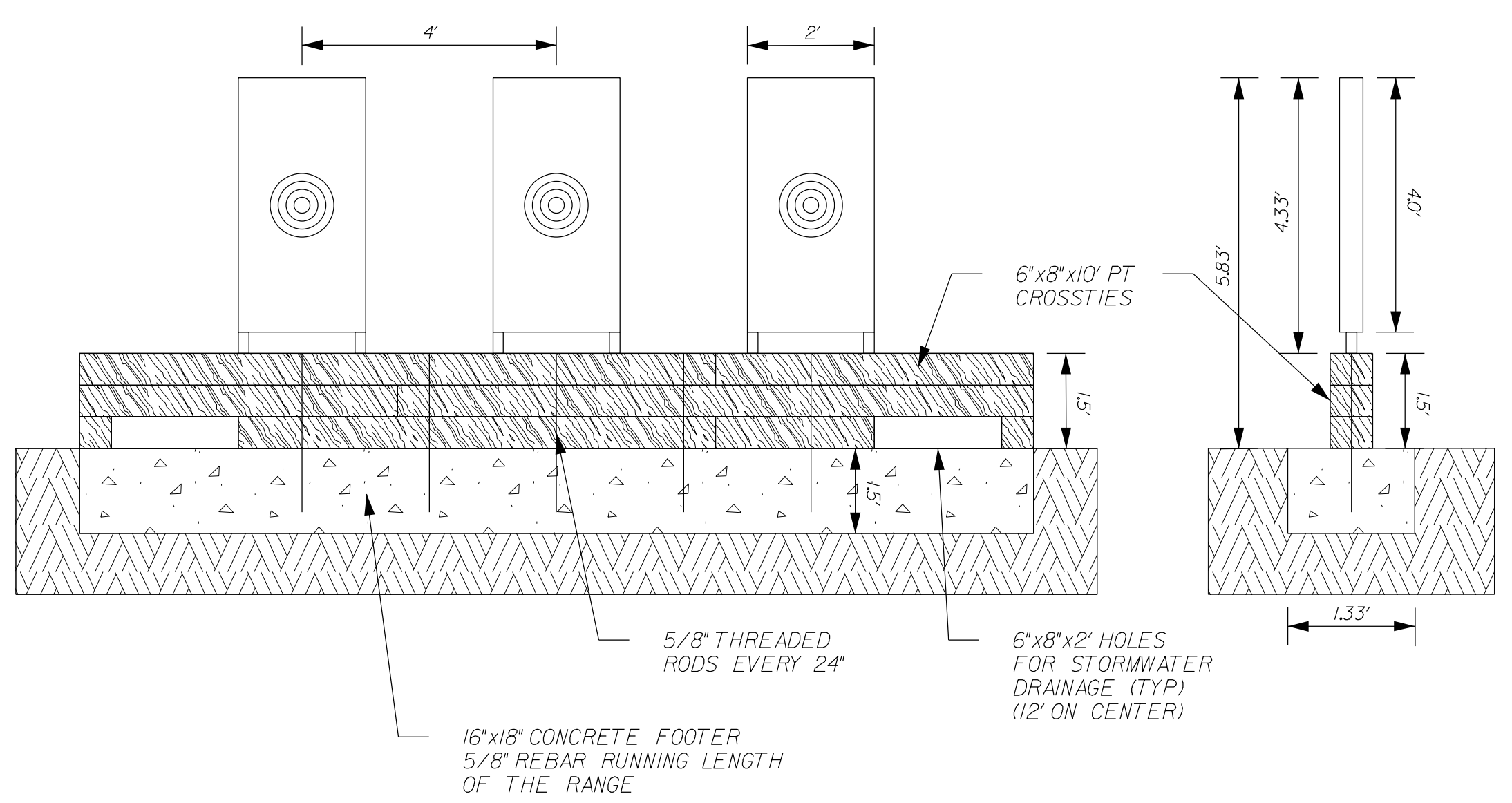
TYPICAL DRY POND CROSS SECTION AND DETAIL (NOT TO SCALE)



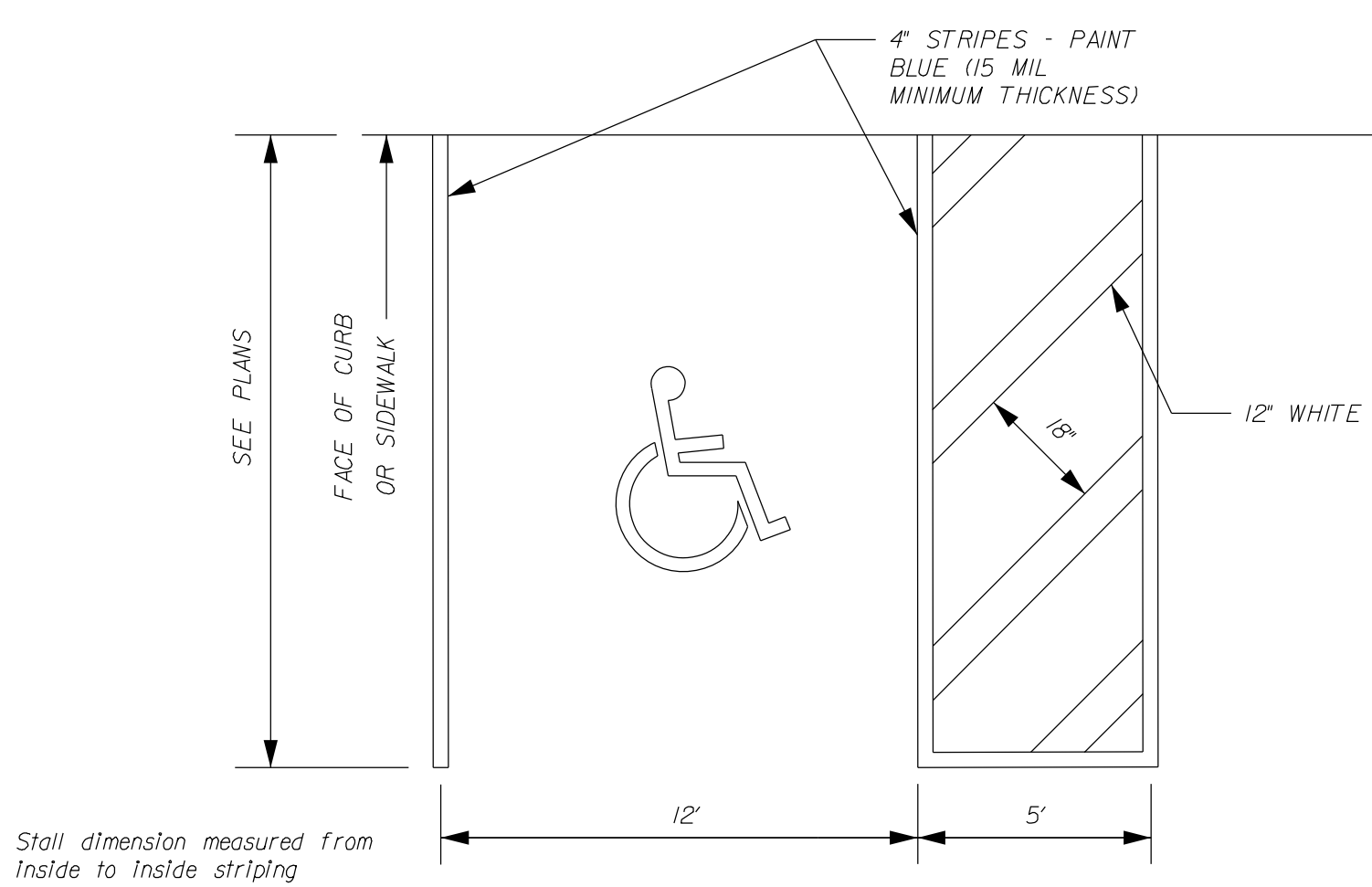
STABILIZED DIRT ROAD DETAIL (ADAPTED FROM N.C. 99-17 DETAIL 23)



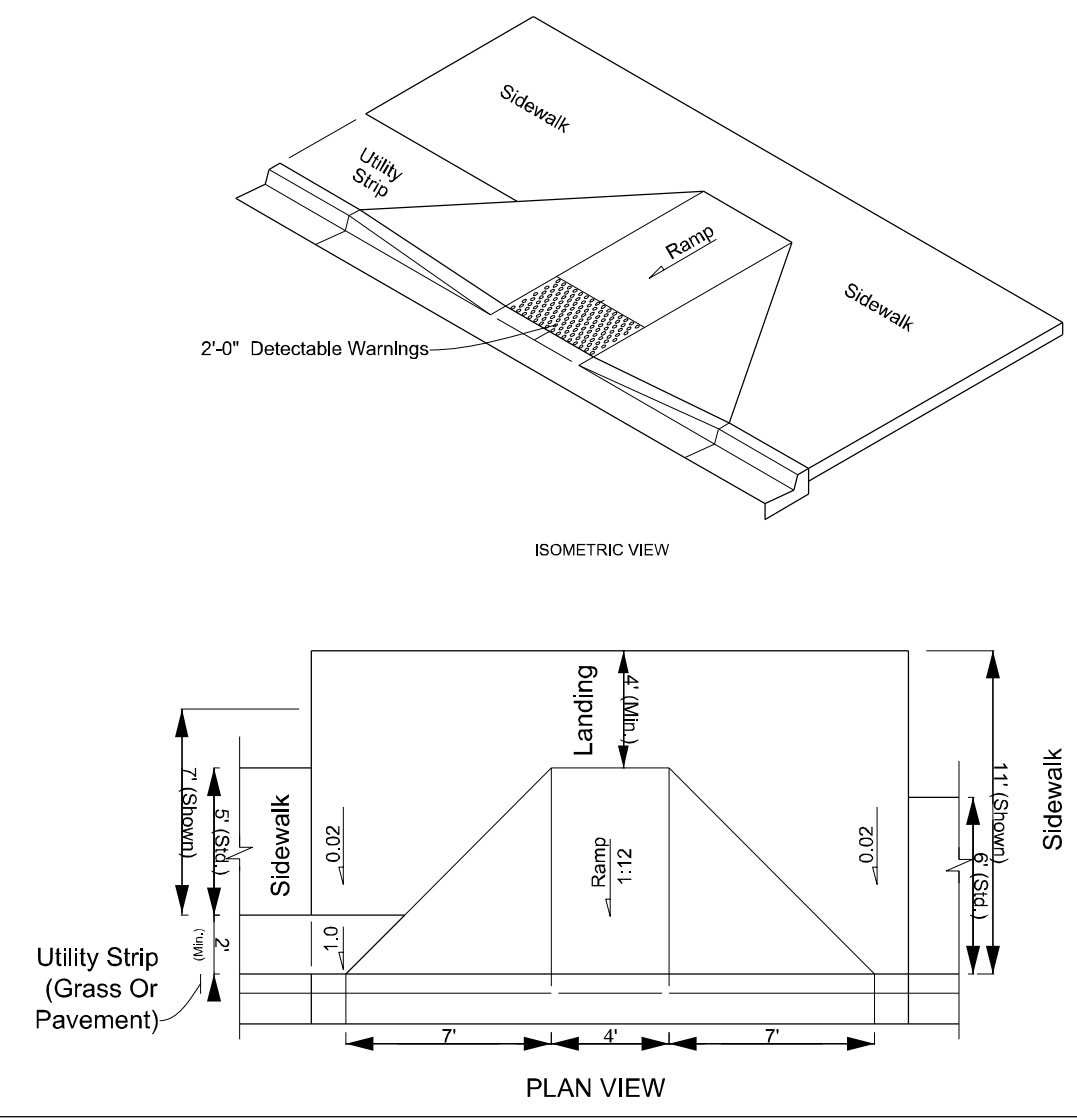
SIDEWALK JOINT DETAILS



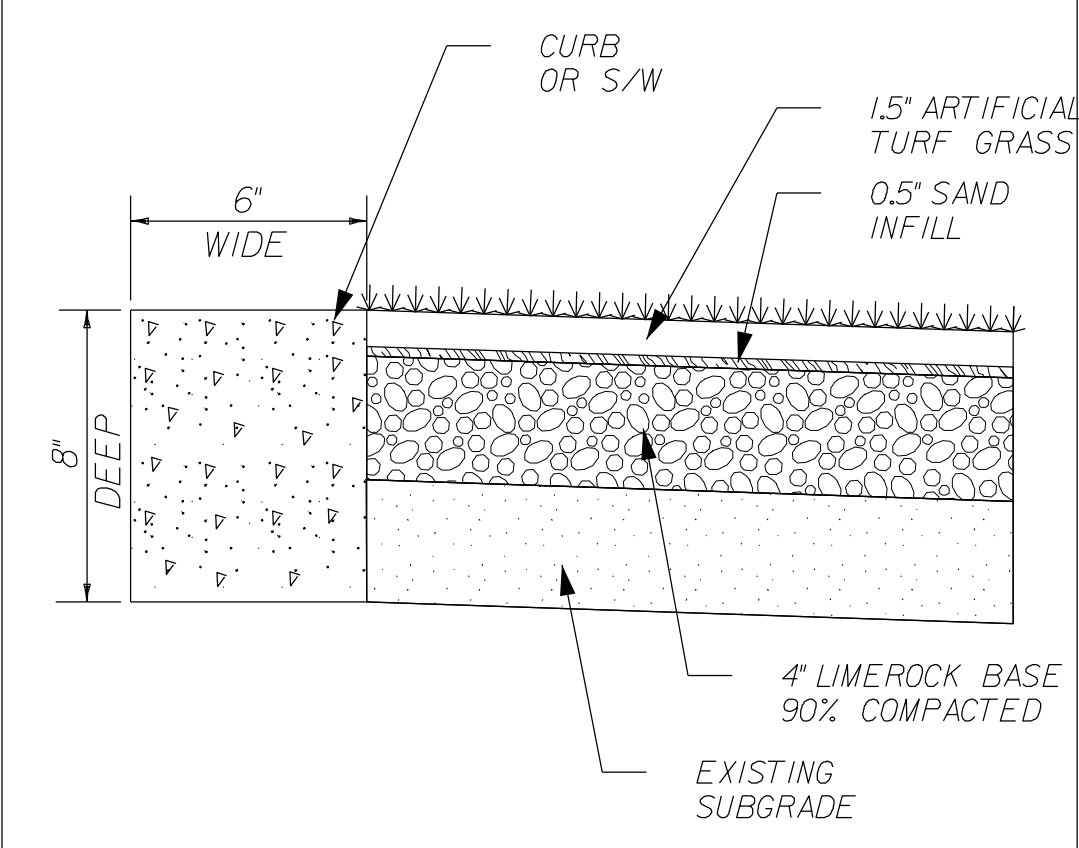
RANGE TARGET DETAIL



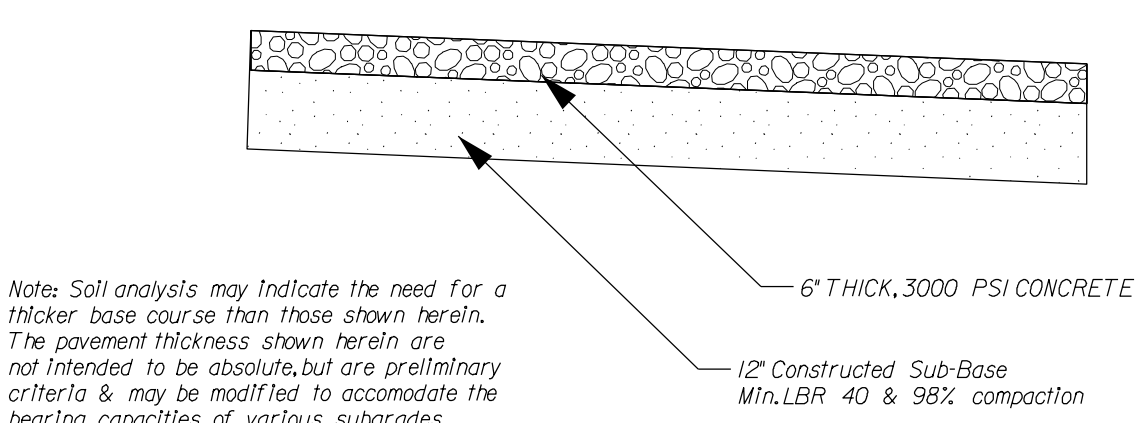
TYPICAL DISABLED PARKING



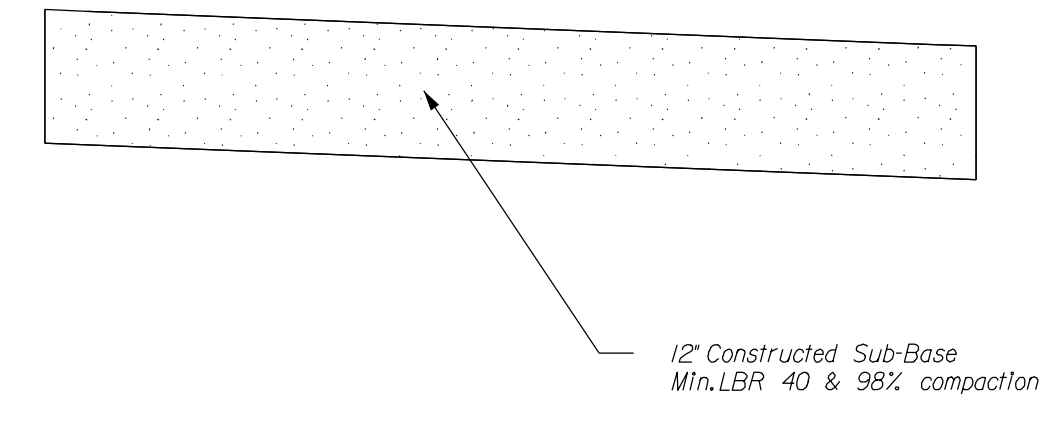
CURB RAMP DETAIL - LANDING



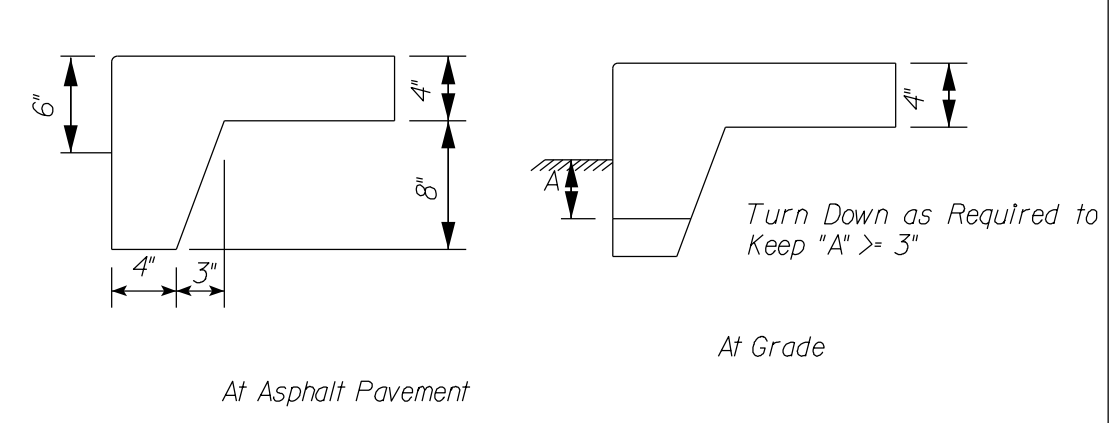
ASTROTURF DETAIL



TYPICAL CONCRETE DETAIL



STABILIZED DIRT ROAD DETAIL



SIDEWALK TURNDOWN DETAILS

K				Scale: NONE
J				
I				Project Mgr: AG
H				Designed by: AG
G				Drawn by: LA
F				QAQC: NG
E	MP	08/31/20	Revised Rifle Range	
D	LA	06/30/20	Revised per NCSO Coordination	
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A	LA	10/23/19	SP19-019 Nassau County SEP Revision	
No.	By	Date		

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MISCELLANEOUS DETAILS

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Project No. 19J013

SEPTIC SYSTEM CALCULATIONS

SEPTIC USE FOR PARKS-

TOILET 4 GPD / PERSON

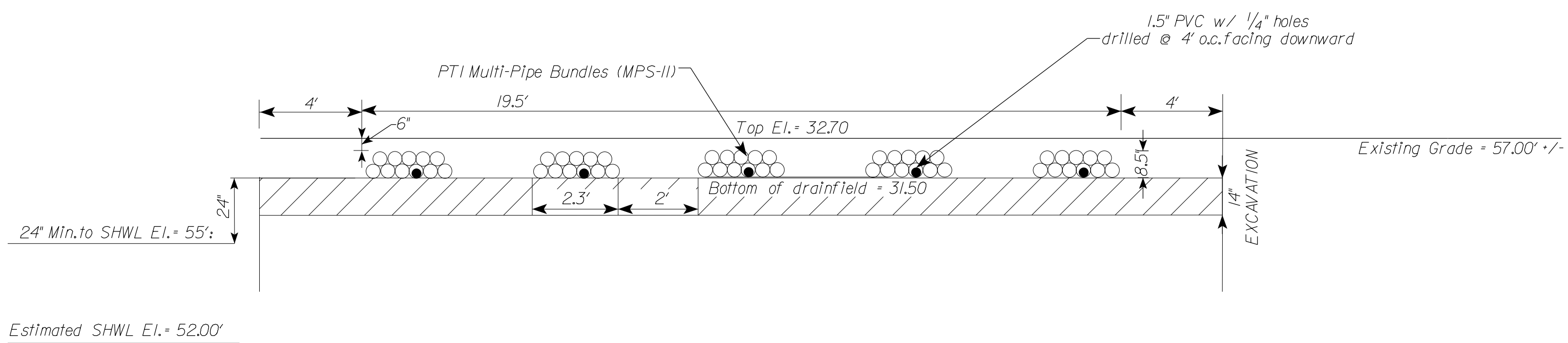
(120 PERSONS) x (4 GPD / PERSON) = 80 GPD

SEPTIC TANK SIZE- MINIMUM 900 GAL
117" (LG) x 60" (W) x 51" (H)

DRAINFIELD SIZING:

ASSUMED MINIMUM USE OF 200 GPD AND
PERCOLATION RATE 0.80 G/SF-DAY

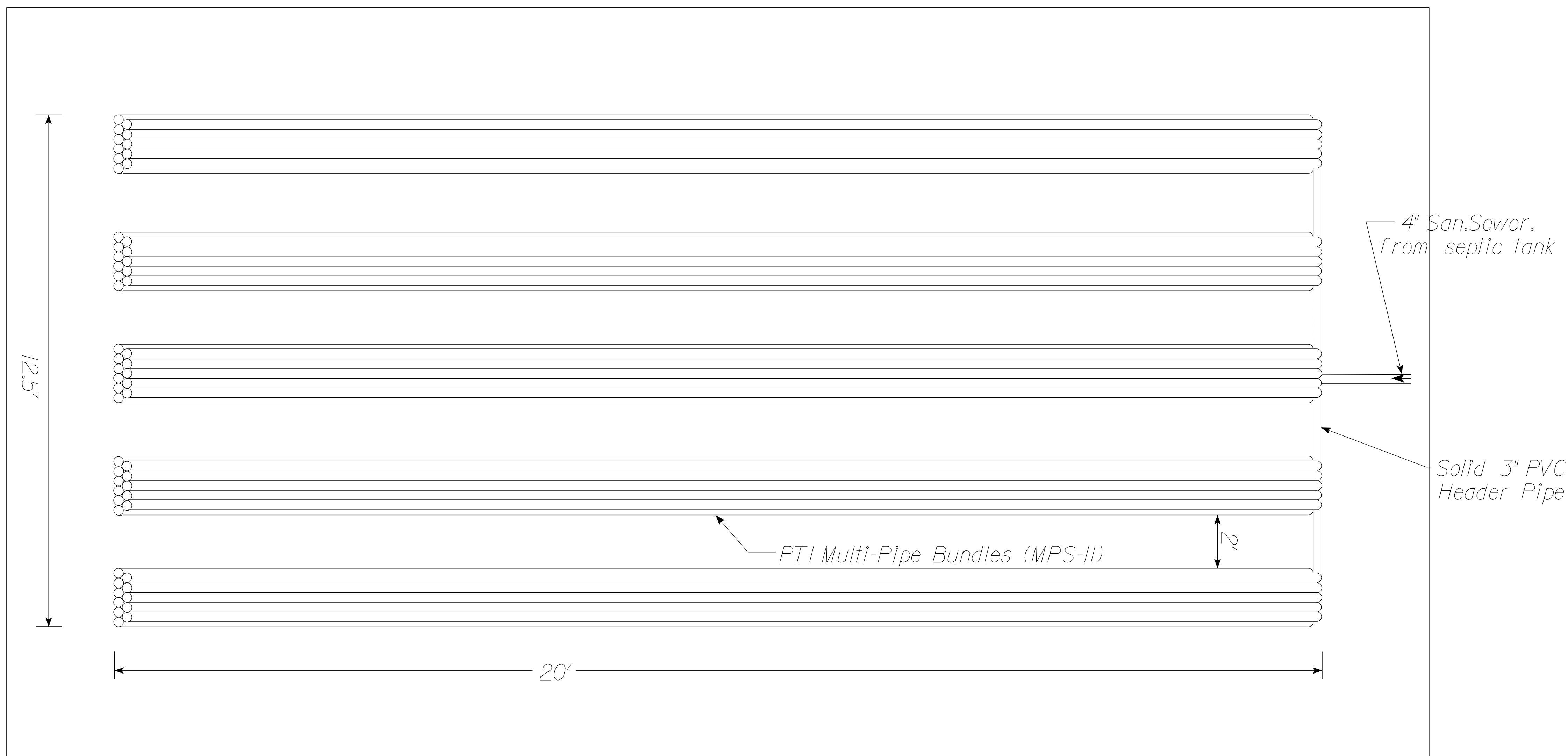
(200 GAL / DAY) / (0.8 GAL / SF x DAY) = 250
SF MINIMUM DRAINFIELD SIZE



Estimated SHWL El. = 52.00'

NOTE: Drainfield fill material shall consist of Sand (coarse or fine), or loamy course sand that is free of extraneous non-soil material such as grass, roots, and any other debris. Soil classification shall be based on F.A.C. 64E-6.016.

Drainfield Elevation Section
Scale: N.T.S.



SEPTIC SYSTEM

K			
J			
I			
H			
G			
F			
E	MP	08/31/20	Revised Rifle Range
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Scale: NONE
Project Mgr: AG
Designed by: AG
Drawn by: LA
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UTILITY DETAIL SEPTIC SYSTEM

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